

2016

Land Information Memorandum



■ **43 Sainsbury Road, Pukataha**
LOT 1 DP 313908

■  www.facebook.com/WaikatoDistrictCouncil ■ 0800 492 452 ■ www.waikatodistrict.govt.nz

Waikato

DISTRICT COUNCIL
Te Kaitiaki o Te Kaitiaki o Waikato

Land Information

Memorandum

In reply please quote: LIM1667/16
If calling, please ask for: Charlotte Muggeridge

LOCAL GOVERNMENT OFFICIAL INFORMATION AND MEETINGS ACT 1987

The information supplied in this Land Information Memorandum is based on existing Waikato District Council records that may not be complete. The property has not been inspected or surveyed by the Council. It is the purchaser's responsibility to check the boundaries of the property.

It is assumed that any purchaser will search the certificate of title that is not held by the Council and will personally inspect the property and its surrounds. This information deals solely with the property named below, and does not disclose any relevant information that may affect adjacent properties.

It is the sole responsibility of any purchaser to ensure that the land is suitable for a particular purpose.

► Property Details:

Valuation Reference:	04421/900.01
Legal Description:	LOT 1 DP 313908
Area:	5625 square metres more or less
Property Location:	43 Sainsbury Road PUKETAHA
Owners:	Trevor John French, Lynne French

► Property Location:



Information regarding –
44A(2)
(c) information relating to any rates owing in relation to the land

► Rates & Rating Valuation:		Information regarding – 44A(2)(c) information relating to any rates owing in relation to the land
Annual rates for 2015/2016	\$ 2669.11	Balance Owing: \$ -0.01 (Balance of 1st instalment due 23 September 2016)
Value of Improvements	\$ 495,000.00	
Land Value	\$ 275,000.00	
Capital Value	\$ 770,000.00	
Date of Valuation	1 July 2014	

Valuation

Properties in the Waikato District are re-valued every three years in accordance with the Rating and Valuations Act 1988.

Rates and 2011 and 2014 valuations can be viewed online using the Rating Information Database (RID) available on the Waikato District Council website at www.waikatodc.govt.nz

Current Rates

A copy of the current 2015/2016 rates assessment is attached. The 2015/2016 rates are based on the new valuations dated 1 July 2014, which are shown in the table above.

For further information regarding future rates, please contact the Rates Team at the Waikato District Council.

Rates Capital Value

Please note that the rates reflected on this LIM were calculated based on the capital value of the property as at 1 July of the current rating year. Any changes to the capital value of the property that have taken place since 1 July will be reflected in the rating charges for this property in the next rating year. Please contact a member of the rating team on 0800 492 452 if you require further clarification or have any questions.

Information regarding –
44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use;
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose;
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

Under the Waikato District Plan the property is within the:

- Rural Zone
- Waikato River Catchment Policy Area

Please refer to the Waikato District Plan or speak to a duty planner regarding specific requirements for development on properties within these areas.

Designations

This property is within close proximity (500m) to land that is designated for a particular purpose:

- C35 – Puketaha Primary School
- M60 – Puketaha Community Centre

For further information please refer to the planning maps attached and the Waikato District Plan, which is available to view on our website: www.waikatodc.govt.nz <<http://www.waikatodc.govt.nz>>

For any restrictions of the use of the property please refer to the Certificate of Title.

► **Resource Consents:**

Application No	Description	Decision
70 020 111	SUBDIVISION CONSENT Create one additional lot and a boundary relocation	GRANTED 20 July 2002
1739	LAND USE CONSENT Yard Encroachment	GRANTED 17 December 2002

Requisitions: No known planning requisitions to date.

Planning rules relating to this property are contained in the Waikato District Plan and are not outlined in this LIM report. The Waikato District Plan is available to view on Council’s website at www.waikatodc.govt.nz.

■ Building

Information regarding --

44A(2)

- (d) information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act);
- (e) information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004;
- (ea) information notified to the territorial authority under section 124 of the Weathertight Homes Resolution Services Act 2006;

It is recommended that a potential purchaser engage a building consultant to complete a pre-purchase inspection of buildings. Irrespective of code of compliance, structures are subject to deterioration over time and works may have been undertaken without building consent. If requested and supplied, a copy of this may be filed on council records for future references and Land Information Memoranda.

Architects and designers require wind & earthquake information to establish bracing requirements for building development.

► Building Consents/Permits:

Number	Description	Consent/Permit issued date	CCC Issued/ Completed Date
96245	Dwelling	10 January 2003	19 May 2003
BLD1119/08	Swimming Pool	16 May 2008	12 June 2008

Requisitions: No known building requisitions to date.

Pool Fencing - Complying

Council records indicate that there is a Swimming Pool/Spa Pool on the property. The swimming pool/spa pool fence was last inspected on 09 June 2016. On the date of inspection the fence complied with the Fencing of Swimming Pools Act 1987.

Council is responsible for ensuring all reasonable steps have been taken to make sure the pool is fenced appropriately. However it is the responsibility of the owner or person in control of the pool to insure the fence complies with the Act. The council will continue to periodically inspect all pool fences in the district to check that compliance with the Act is being maintained.

■ Water Supply

Information regarding –
44A(2)

- (ba) any information that has been notified to the territorial authority by a drinking-water supplier under section 69ZH of the Health Act 1956;
- (bb) information on—
 - (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier;
 - (ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply;
 - (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply;

Council rate records indicate that the property is connected to the Southern Districts RURAL water supply and charged an annual targeted rate for domestic water supply.

The property is on a metered water supply and being charged on a volume basis for water supply.

Please contact the Customer Delivery Department at the Waikato District Council to arrange a final water meter reading prior to sale settlement.

■ Drinking Water (potable water supply)

The property is connected to the Southern Districts rural water supply. Council's rural water supply systems are a restricted trickle feed of 1.8m³ per day. Owners are required to provide their own water storage tank with a minimum capacity of 48 hours storage, if the tank is connected to stormwater downpipes the water quality is the owner's responsibility.

The construction of a bore for the taking of ground water requires consent from the Waikato Regional Council, for further information contact Waikato Regional Council.

Information regarding –
44A(2)

(b) information on private and public stormwater and sewerage drains as shown in the territorial authority's records.

■ Wastewater

The property is located outside an area currently served by a community system for wastewater disposal.

Existing System

The property has an existing on-site wastewater disposal system. Wastewater disposal systems are sized in relation to the number of bedrooms of a dwelling and the potential occupancy.

Future building works that include additional bedrooms will require an assessment from an engineer or other suitably qualified person approved by the Council, of whether the existing on-site effluent treatment system is capable of adequately treating and disposing of the increased loadings. If upgrades are required, these shall be designed, supervised and certified by an engineer or other suitably qualified person to comply with AS/NZS 1547:2012 and the Waikato Regional Plan.

It is recommended that potential purchasers engage a contractor to inspect the septic tank prior to settlement. The Waikato District Council does not maintain or monitor private wastewater disposal systems and NZ standards indicate a septic tank should be cleaned / emptied every 3 years.

■ Stormwater

The property is located within a land drainage area administered by the Waikato Regional Council. For further information contact Waikato Regional Council.

For any new development, Onsite Stormwater Disposal will be required under the Waikato District Plan & Waikato Regional Plan prior to connection to any public stormwater network or drains.

For further Information please contact a Project Information Officer at the Waikato District Council.

■ Natural Hazards

Information regarding –
44A(2)

- (a) information identifying each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants, being a feature or characteristic that—
 - (i) is known to the territorial authority; but
 - (ii) is not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991.

LRI (Us)

New Zealand Land Resource Inventory Maps indicate that the soils in this area may have poor bearing capacity for building foundations due to Natural Sloping Topography.

A geotechnical engineer may be required to investigate ground or sub-soil conditions to establish any specific requirements for building development.

Geotech Available

- *Attached for your information is a copy of the Subsoil Investigation Report by Oakley Consulting Engineers Ltd , dated 26 November 2002; this was prepared as part of the building application to construct a dwelling.*

Under section 71-74 of the Building Act 2004, upon application for a building consent applicants must demonstrate that any proposed building work will be protected from hazards.

■ Additional Information

Information regarding –

44A(3) In addition to the information provided for under subsection (2), a territorial authority may provide in the memorandum such other information concerning the land as the authority considers, at its discretion, to be relevant.

■ Health

There are no outstanding Notices or Orders under the Health Act 1956 and related legislation in respect of the property.

■ Refuse

Waikato District Council's goal is to work towards a 'zero waste' target, so from 1 July 2016 we will introduce changes to our refuse and recycling services to help Waikato residents reduce the volume of waste they send to landfill. Less waste will save us all more in the long-run.

For further information please see <https://www.waikatodistrict.govt.nz/services-facilities/refuse-and-recycling>

The collection day for domestic rubbish and recycling for the property will be **(Wednesday)** weekly;

■ Utilities

The Waikato District Council does not hold records concerning utility systems it does not administer. For information concerning state highways (administered by NZ Transport Agency), electricity, telephone or gas, the relevant network operator should be contacted.

Yours faithfully



Charlotte Muggeridge
Land Information Officer



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



R. W. Munn
Registrar General
of Land

Historical Search Copy

Identifier 54994
Land Registration District South Auckland
Date Issued 06 December 2002

Prior References

SA66D/108

Estate Fee Simple
Area 5625 square metres more or less
Legal Description Lot 1 Deposited Plan 313908

Original Proprietors

Keith Richard Billington as to a 1/2 share
Diane Billington as to a 1/2 share

Interests

B241791.2 Mortgage to ASB Bank Limited - 24.11.1994 at 9:06 am
5551458.1 Discharge of Mortgage B241791.2 - 10.4.2005 at 9:00 am
6807763.1 Transfer to Trevor John French and Lynne French - 30.3.2006 at 9:00 am
6807763.2 Mortgage to ASB Bank Limited - 30.3.2006 at 9:00 am

Trevor John French &
Lynne French

Property Number 2005874
Rateable Value \$770,000

For queries relating to this rates assessment please quote the property number shown above when calling.

L005572

L005572

Property details for this rate assessment are as follows:

Valuation Roll No 04421/900.01 **Property Location** 43 Sainsbury Road PUKETAHA
Capital Value \$770,000 **Improvement Value** \$495,000 **Land Value** \$275,000 **Area** 0.562500 ha
Legal Description LOT 1 DP 313908 BLK X KOMAKORAU SD

PLEASE NOTE: THIS IS NOT AN ACCOUNT FOR PAYMENT - YOU WILL BE INVOICED SEPARATELY.

Description of Rate	Matters for differentiation and Targeted Rate funding	Targeted Rate Factor	Factor Applicable	Charge per Factor	Amount
General Rate		rateable value	770,000	0.0023216	\$1,787.63
Uniform Annual General Charge (UAGC)		fixed charge	1	430.12	\$430.12
District Refuse	collection service available	per SUIP*	1	213.36	\$213.36
Southern Districts Water Supply	connected to Southern Districts supply	per metered connection	1	200.00	\$200.00
Puketaha Community Centre	residential and within Puketaha Community Centre area	per SUIP*	1	38.00	\$38.00
Total rates assessed					\$2,669.11
Total rates remitted					\$0.00
Total rates payable					\$2,669.11
Rates balance as at 30 June 2015					\$(0.08)
Balance of year's rates to be paid					\$2,669.03

(All figures include GST)

Notes

- ¹ Capital Value includes land and improvements
 - ² Differential categories are further defined in the funding impact statement adopted as part of the Long Term Plan
- * SUIP - Separately Used or Inhabited Part of a property or building

Functions funded by rates

General rate

The general rate funds a portion of the democracy, community services, infrastructural and regulatory functions that are shown on the table below.

Uniform annual general charge (UAGC)

The uniform annual general charge funds a portion of the democracy, community services and regulatory functions that are people related and are shown on the table below.

Community facility targeted rate

The community facility rate funds the maintenance and operation of halls and community centres within defined rating areas.

Capital works contributions

The capital works contribution has been set for the purpose of covering the capital cost and interest charges of works not met by lump sum contributions for the projects.

Water targeted rate

The water rate funds the supply of water to properties that receive, or are capable of receiving a water supply.

Wastewater targeted rate

The wastewater rate funds sewage disposal for properties that are connected or able to be connected to the wastewater network.

Urban stormwater targeted rate

The urban stormwater rate funds the collection and disposal of stormwater within defined rating areas.

Refuse targeted rate

The refuse collection rate funds the costs of household refuse collection, recycling and disposal within defined rating areas.

Further information on the rationale for funding these functions in this way can be found in the Waikato District Council's Revenue and Financing Policy, copies of which can be obtained from any Waikato District Council Office.

Breakdown of General Rate and Uniform Annual General Charge (UAGC) Applicable to This Rating Unit		
	General Rate \$	UAGC \$
Animal Control	\$28.96	\$14.24
Area Offices and Other Properties	\$148.73	\$73.34
Community and Safety	\$5.01	\$2.49
Corporate and Council Leadership	\$162.32	\$80.05
Environmental Health	\$29.85	\$14.71
Grants and Donations / Community Liaison	\$28.60	\$14.15
Libraries	\$55.60	\$27.40
Parks and Reserves	\$280.30	\$138.15
Resource Management	\$132.82	\$65.59
Roading	\$877.55	\$0.00
Solid Waste Management	\$17.34	\$0.00
Stormwater	\$2.86	\$0.00
Wastewater	\$9.30	\$0.00
Water Supply	\$8.40	\$0.00
	\$1,787.63	\$430.12

The supply of water, collection/treatment of wastewater and draining of stormwater are all essential services for the community's ongoing health and well-being, and contribute to the Healthy and Sustainable Community Outcomes. Expenditure from general rates and uniform annual general charges is for scoping new projects, asset management planning, developing policies and to contra the rates levied on these assets.

Your Ref:
13489

In reply please quote:
70 02 111

If calling, please ask for:
Cate Gallichan

25 July 2002

McPherson Goodwin Limited
P O Box 9379
HAMILTON
Attention Nick Dunckley

Dear Mr Dunckley

**APPLICATION FOR RESOURCE CONSENT K R & D BILLINGTON AT
331 PUKETAHA ROAD, PUKETAHA**

You are advised that at a meeting held on 17 July 2002 at which the Waikato District Council considered this application, the Council resolved:

"Pursuant to sections 105(1)(b), 108 and 220 of the Resource Management Act 1991 the Waikato District Council grants consent to a subdivision to create one additional lot and to undertake a boundary relocation between two existing certificates of title, and to dispense with the minimum separation distances required between the existing and proposed accesses, as a non-complying activity under the provisions of the Waikato District Plan and Plan Change Seven on a site legally described as Lots 1,2 and 3 DPS 91326 comprised in Certificate of Title 66D/108 and Lot 1 DPS 49549 comprised in Certificate of Title 41D/747, South Auckland Land Registry, subject to the following conditions:

GENERAL

- 1 The Land Transfer plan to give effect to this Resource Consent shall be generally consistent with the approved plan number 13489 prepared by McPherson Goodwin Surveyors Ltd on behalf of KR and D Billington, submitted with application 70 02 111 and received by Council on 27 February 2002 and the further information received by Council on 28 February 2002 and 17 May 2002. A copy of the approved plan is attached.
- 2 That the distance between proposed Lot 1 and Lot 1 DPS 65741 shall be not less than forty (40) metres.

FINANCIAL CONTRIBUTIONS

3 Roothing

Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution for roading of \$4,123.00 (Four Thousand, One Hundred and Twenty Three Dollars), inclusive of GST, shall be paid to the Council. This is based on a Roothing Contribution of \$4,123.00 (Four Thousand, One Hundred and Twenty Three Dollars), inclusive of GST, for each additional lot.

4 Reserve Contribution

Pursuant to section 108(2)(a) of the Resource Management Act 1991, a reserve contribution of \$1,125.00 (One Thousand, One Hundred and Twenty Five Dollars), inclusive of GST, shall be paid to the Council in lieu of vesting land.

5 Capital

Paid on SD account 1/11/2002 c. 357256
Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution for Lot 1 towards trickle feed water supply, of \$2,604.00 (Two Thousand Six Hundred and Four Dollars) including GST. shall be paid to Council prior to the issue of the section 224(c) certificate by Council.

ARCHAEOLOGICAL

6 The consent holder shall ensure that, should any human remains or archaeological items be exposed while undertaking works to give effect to conditions of this consent, works in that area will cease immediately. The Police, New Zealand Historic Places Trust, and Kaumatua representing the local Tangata Whenua shall be contacted and work shall not recommence in the affected area until any necessary statutory authorisations or consents have been obtained.

ROADING

✓ 7 Lot 3 shall be provided with a sealed standard heavy commercial vehicle entrance located at the existing entrance to the cowshed on Sainsbury Road, 90 metres north of Rural Address Property Identification Number (RAPID) 65, and constructed in accordance with WDC plan NO. TSG-E1, to the satisfaction of Council.

✓ 8 Lot 1 shall be provided with a sealed standard residential vehicle entrance located as indicated on the approved plan and constructed in accordance with WDC plan No. TSG-E3 to the satisfaction of Council.

✓ 9 The surface of the sealed entrances, shall be two coat chip seal, constructed with 180/200 grade bitumen and G3 and G5 chip. The seal shall extend not less than 5 metres from the edge of the existing seal, or to the property boundary if that is more than 5 metres.

UTILITIES

✓ 10 A separate water supply connection fitted with a manifold, flow restrictor and backflow preventer shall be provided to the boundary of Lot 1, to the satisfaction of Council. Such connection shall be installed by either Council staff or a Council approved contractor.

MONITORING

11 The consent holder shall pay to the Waikato District Council all actual and reasonable costs and additional charges in respect of monitoring the conditions of this consent in accordance with section 36 of the Resource Management Act 1991.

Advisory Notes:

Utilities:

- 1 An application form for water connection is attached and must be completed and returned to Council prior to the issuing of the section 224(c) certificate. Connection fees are in addition to the payment of a financial contribution.
- 2 As Built plans at a scale acceptable to Council shall be provided for all connections and extensions to the public water system.
- 3 When Building Consents are applied for the following matters will need to be addressed in any applications:
 - (i) For some building sites a Registered Engineer may be required to confirm that ground conditions are suitable for building.
 - (ii) For some sites a registered engineer may be required to design a suitable effluent disposal system.

The reasons for this decision are:

- a) The application for a non-complying subdivision to create one additional lot and to undertake a boundary relocation between two existing titles satisfies the provisions of section 105(2A) of the Resource Management Act 1991.
- b) Councils Roading Engineer has reviewed the proposal and has exercised discretion in allowing the reduced separation distances for the existing and proposed entrances, as stipulated in Section 36.6, Table 6 of the District Plan, due to the entrance of Puketaha Road being existing and the Sainsbury Road entrances being on a road with low traffic volumes.
- c) The application is consistent with the Objectives and Policies of the Waikato District Plan as they relate to subdivision and the Rural zone. The proposal will not result in the fragmentation of high quality soils as there will still be two complying rural lots that are suitable for a wide range of rural activities.
- d) The proposed development will not adversely affected the visual character and amenity values of the Rural zone, as there will be no other lots less than 4.0 hectares within 40 metres of the proposed Rural House Lot (proposed Lot 1). The visual character of the rural environment is characterised by areas of open space which do not contain buildings. It is considered that the visual character of the Rural environment would not be compromised by the location of a single dwelling on each of the proposed lots.
- e) The Reserve Contribution is a financial contribution, which would assist in offsetting the effects of increased demand for facilities and land generated by the subdivision. The reserve contribution is made necessary by the additional demand generated by new residents and would help pay for additional reserve areas or facilities and the future development of existing facilities. Reserve Contributions are imposed at the flat rate of \$1,125.00 inclusive of GST for each lot created by subdivision upon which a dwelling or dwellinghouse are authorised by this District Plan. One additional Lot is being created on which there is no existing dwellinghouse, therefore one Reserve Contribution is applicable.

- f) The Uniform Roding Fee is a financial contribution, which allows the developer to contribute a fair share of the cost of providing services, which are necessary to serve new developments. The Roding Fee would also contribute financially towards any capital improvements to Council's roding infrastructure in the District, which the subdivision will use. This would also assist in ensuring that roads in the District are able to safely and efficiently accommodate additional traffic arising from the subdivision. The maximum uniform roding fee per Lot is \$4,123.00 inclusive of GST for the 2001/2002 financial year. One additional Lot is being created, therefore one Uniform Roding Fee is applicable.
- g) A minimum distance of 40 metres is required between proposed Lot 1 and Lot 1 DPS 65741 in accordance with Rule 9S.2.6(c)(1) of the Operative Waikato District Plan, whereby 'single rural house lots shall not be contiguous with any other lots having an area of less than 4ha, and there shall be a distance of at least 40 metres between such lots'.
- h) Council recognises that any grandparent subdivision opportunity is restricted to the area of the original pre 1997 title. Any further subdivision of the subject site shall be restricted to the area within Lot 1 DPS 49549.
- i) The Council Hearings Committee, is able to exercise the discretion provided under section 105(1)(b) to grant consent to this application."

A Lapsing of Consents

Your attention is drawn to section 125 of the Resource Management Act 1991. A summary of that section is that subject to sections 357 and 358 a resource consent lapses on the expiry of two years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- a The consent is given effect to, before the end of that period; or
- b An application is made to Council up to three months after the expiry of that period which meets the criteria specified in section 125.

B Compliance with Conditions

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C Changes to Conditions

Your attention is drawn to section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of section 127 can be met.

D Right of Appeal

Your attention is drawn to the Resource Management Act 1991 sections 120 and 121 and also Resource Management Regulations 1991/170 Clause 10 and Part VI. Some key provisions to note are as follows:

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Environment Court and with Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Environment Court is as follows:

The Registrar
Environment Court
P O Box 5027
Wellington

- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully



Shelley Wood
ENVIRONMENTAL SERVICES

Pt. 2
DP 7724

159
4
DPS 7724

Approved Plan

cate.



1
DPS 22618

1
DPS 16945

3 CT. 66D/108

23.0359 ha.

Cowshed & yards.

Tank
House
Garage

1
DPS
65741

SAINSBURY ROAD

Areas & distances are subject to survey.

Total Area of C.S.T.
59.5984 ha.

2
DPS 22618

2
36 ha.

Cowshed & bldgs.

CT. 41D/747

Garage

Pt. 21
DP
3561

1
DPS
69057

PUKETAHA ROAD

DPS 84037

DP 30846

PROPOSED SUBDIVISION OF LOT 1 DPS 49549 & LOTS 1, 2 & 3 DPS 91326

Comprised in C.S.T. 41D/747 & 66D/108 - For K.R. & D. Billington
Prepared by McPherson Goodwin Surveyors Ltd., Land & Engineering
Surveyors. - 7 Hardley Street, Hamilton.
Scale 1:2500 February 2002



Your Ref:
Your Ref:

If calling, please quote:

1006752; 1739

If calling, please ask for:

Anna Livingston

17 December 2002

K & D Billington
331 Puketaha Road
R D 1
HAMILTON

Dear Mr and Mrs Billington

APPLICATION FOR RESOURCE CONSENT: 43 SAINSBURY ROAD, PUKETAHA

You are advised of the following decision on your application, which has been made pursuant to a delegated authority by the Environmental Consents Manager.

"Pursuant to sections 34(4), 105(1)(b) and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants land use consent for a discretionary activity to construct a dwellinghouse that shall encroach 6 metres into the 25 metre north western side yard requirement, under the provisions of Plan Change 7, on a site legally described as Lot 1 arising from subdivision of Lot 1 DPS 49549 and Lots 1 - 3 DPS 91326, as composed in Certificate of Title 41D/747 and Certificate of Title 66D/108, South Auckland Land Registry (Council reference 70 02 111), South Auckland Land Registry, subject to the following conditions:

- 1 The location of the proposed dwellinghouse shall be in accordance with the site plan submitted by the consent holder for application number 1739 and received by Council on 12 December 2002. A copy of the approved plan is attached.
- 2 Pursuant to section 36 of the Resource Management Act 1991 the consent holder shall pay the actual and reasonable costs incurred by the Council when monitoring the conditions of this consent.

The reasons for this decision are:

- a Written approval has been obtained from every person whom Council is satisfied may be adversely affected by the granting of the consent.
- b The side yard encroachment will not have an adverse effect on the visual, daylight or sunlight amenity values of the abutting properties.
- c Council is satisfied that the adverse effect on the environment of the proposed location is minor.
- d The provisions of proposed Plan Change 7 have been given effect to under the provisions of section 19 of the Resource Management Act 1991 when assessing this application and little weight has been given to the rural yard provisions of the Waikato District Plan when determining this application."

A Lapsing of Consents

Your attention is drawn to section 125 of the Resource Management Act 1991. A summary of that section is that subject to sections 357 and 358 a resource consent lapses on the expiry of two years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- (a) The consent is given effect to, before the end of that period:
or
- (b) An application is made to Council up to three months after the expiry of that period which meets the criteria specified in section 125.

B Compliance with Conditions

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C Changes to Conditions

Your attention is drawn to section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of section 127 can be met.

D Review of Decision on non-notified application

Your attention is drawn to section 357(2) of the Resource Management Act 1991. This section provides that there is a right of objection to Council in respect of this decision. Section 357(5) requires:

Any such objection shall be made by notice in writing to the Council, setting out the reasons for the objection, within 15 working days after the decision or requirement being notified to that person, or within such further time as may in any case be allowed by the consent of the Council.

E Right of Appeal

Your attention is drawn to the Resource Management Act 1991 sections 120 and 121 and also Resource Management Regulations 1991/170 Clause 10 and Part VI. Some key provisions to note are as follows:-

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Environment Court and with the Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Environment Court is as follows:-

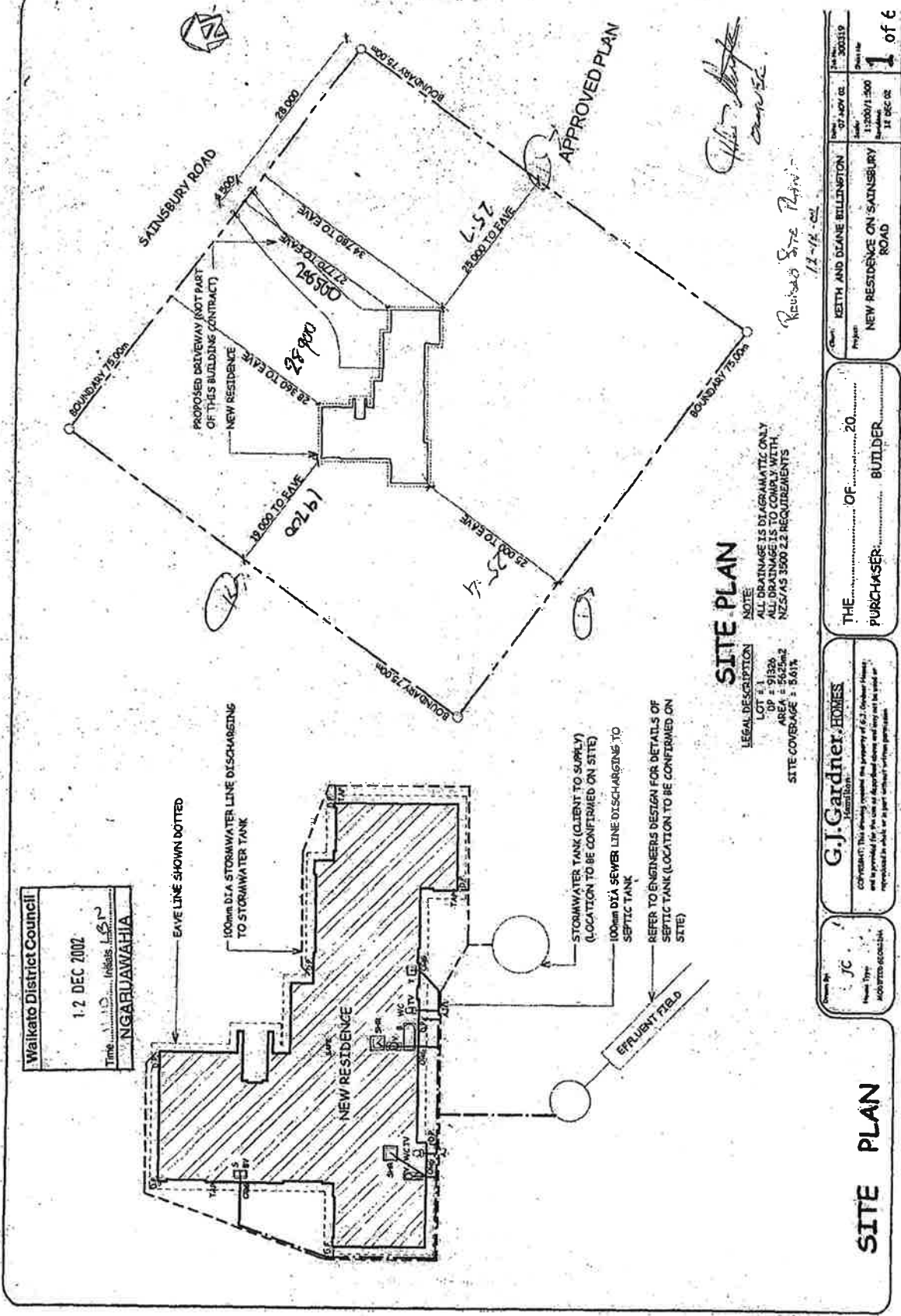
The Registrar
Environment Court
P O Box 5027
Wellington

- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully

Shelley Wood
ENVIRONMENTAL ADMINISTRATION



Waikato District Council
 12 DEC 2002
 Time 11:10 Initials L.S.P.
 NGARUAWAHIA

SITE PLAN

LEGAL DESCRIPTION
 LOT 1 9130A
 AREA = 562.9m²
 SITE COVERAGE = 5.61%

NOTE
 ALL DRAINAGE IS DIAGRAMATIC ONLY
 ALL DRAINAGE IS TO COMPLY WITH
 NZS/RAS 380 ZE REQUIREMENTS

John [Signature]
 CONSULTANT

Revised Site Plan
 11-11-02

Drawn By: JC	Project: NEW RESIDENCE ON SAITSBURY ROAD	Scale: 1:200/1:500	Sheet No: 1 of 6
Checked By: [Signature]	Client: KEITH AND DAINE BILLINGTON	Date: 07 NOV 02	Plan No: 200319
Project: NEW RESIDENCE ON SAITSBURY ROAD	Purchaser: THE PURCHASER	Builder: BUILDER	Of: 20
Project: NEW RESIDENCE ON SAITSBURY ROAD	Builder: BUILDER	Area: 562.9m ²	Site Coverage: 5.61%

SITE PLAN

G.J. Gardner HOMES
 Hamilton
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FILE

FINAL CODE COMPLIANCE CERTIFICATE NUMBER: 96245

Section 43(3) Building Act 1991

ISSUED BY WAIKATO DISTRICT COUNCIL
BUILDING CONSENT NUMBER: 96245

POST TO	PROJECT
Owner: BILLINGTON, KEITH RICHARD BILLINGTON, DIANE Address: C/- G J GARDNER HOMES P O BOX 20492 HAMILTON 2035	Stage Number of an intended stages of: New or relocated building <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Other <input type="checkbox"/> Intended use(s) (in detail): DWELLING
PROJECT LOCATION 65 SAINSBURY ROAD, PUKETAHA	
LEGAL DESCRIPTION Property Number: 1006752 Valuation Roll Number: 04421 90301 Legal Desc: LOT 1 DPS 49549	Intended life: Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Specified as years <input type="checkbox"/> Demolition <input type="checkbox"/>

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

Signed for and on behalf of the Council:

Name: **A P Krippner**

Position: Building Control Officer

Signature: 

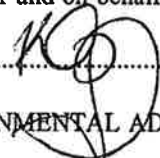
Date: 19/05/2003

4421 1900.01

BUILDING CONSENT NO. ABA 96245

Section 35, Building Act 1991

ISSUED BY: WAIKATO DISTRICT COUNCIL

APPLICANT	PROJECT
<p>Name: BILLINGTON, KEITH RICHARD BILLINGTON, DIANE Mailing Address: C/- G J GARDNER HOMES, P O BOX 20492, HAMILTON 2035</p>	<p>All <input type="checkbox"/></p> <p>Stage No of an intended stages</p>
PROJECT LOCATION	
<p>Street Address: 43 SAINSBURY ROAD, PUKETAHA 43</p>	<p>New or Relocated Building <input checked="" type="checkbox"/> Alteration/Addition <input type="checkbox"/> Demolition <input type="checkbox"/></p>
LEGAL DESCRIPTION	
<p>Property Number: 4006752 2005874 Valuation Roll No: 04421 90301 Legal Description: LOT 1 DPS 49549</p>	<p>Intended Use(s) in detail: DWELLING</p> <p>Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years <input type="checkbox"/></p> <p>Estimated Value: \$ 277000</p>
COUNCIL CHARGES	
<p>The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:</p> <p>Total: \$ 1632-05 ALL FEES ARE GST INCLUSIVE</p>	<p>Signed for and on behalf of the Council: Name:  ENVIRONMENTAL ADMINISTRATION Date: 10/01/2003</p>

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act not permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached 2 pages headed "Conditions of Building Consent No ABA 96245"

WAIKATO DISTRICT COUNCIL
Conditions in respect of the Building Act 1991
Section 34(1) Building Act 1991

Conditions of Building ConsentNo: ABA 96245

Page: 1

-
- 1) See resource consent number 1739 dated 17 December 2002 for additional conditions.
 - 2) Can you please ensure that 24 hours notice is given prior to requiring the following inspections:
 - a) Foundation (prior to pouring concrete)
 - b) Bond Beam (prior to pouring concrete)
 - c) Floor (prior to pouring concrete)
 - d) Prelining
 - e) Insulation
 - f) Final inspection to be called for
 - g) Owner/builder to locate boundary pegs prior to Council carrying out a foundation inspection.
(The owner or builder shall be on site at the time of inspection)
 - 3) Trusses or rafters shall be fixed at tails to top plate with wire dogs at each end.
 - 4) Roof shall be braced to comply with Table 10.1 NZS 3604, 1999.
 - 5) The moisture barrier beneath the floor shall comply with the New Zealand Building Code 1991.
 - 6) Habitable rooms shall have at least 5% of room area in opening sashes and 10% in glazing.
 - 7) Fibreglass insulation shall be a minimum of 75mm in walls and 100mm in ceilings or shall comply with the requirements of E3 AS1 of the New Zealand Building Code 1991.
 - 8) Footings shall be a minimum of 200mm below cleared ground level.
 - 9) Soils may be soft in this area.
Foundations shall sit on soils capable of supporting 100kpa. If soft soils are encountered an engineer's design of the foundations will be required.
 - 10) All drainage and plumbing shall comply with the New Zealand Building Code 1991.
 - 11) At least 24 hours notice shall be required for plumbing and drainage inspections.
 - 12) Plumbing preline inspection shall be required
 - 13) an as built drainage plan and an electrical certificate of compliance is required on completion.
 - 14) Septic tank and effluent disposal shall comply with AS/NZS 1547 2000.
 - 15) Stormwater shall be disposed of in an approved manner.
 - 16) All roof trusses to be designed and fabricated by a certified

manufacturer.

- 17) No hot and cold water pipes shall be laid under concrete floors unless they are accessible after the job is completed.
- 18) The effluent field shall be a minimum of 600mm above the groundwater table.
- 19) To ensure that effluent fields are kept shallow, all soil and waste pipes to exit concrete floor system above foundation.
- 20) Wall framing to comply with table 8.14, 8.18, 8.2, 10.9, 10.10 or 10.13 Figure 8.12 NZS 3604:1999.
- 21) The on-site domestic wastewater system is to be installed in accordance with the Oakley Consulting Engineers Ltd report, dated 27 November 2002 reference 02-296, under the supervision of a registered engineer. Council will require a Construction Review Producer Statement from the Supervising Engineer for the work prior to the issue of the Code Compliance Certificate.
- 22) Lapse and cancellation of building consent.
This building consent shall lapse and be of no effect if:
a) The building work concerned has not been commenced within 6 calendar months after the date of issue of the consent; or
b) Reasonable progress on the building work has not been made within 12 calendar months after work has commenced.
The Council can exercise its discretion in either case.

Date: 10/ 1/03

Signed:



WAIKATO DISTRICT COUNCIL

PRODUCER STATEMENT

PLUMBING SYSTEM PRESSURE TEST

Owner Diane & Keith Edington

Property Address 65 Sainsbury Road, Puketaka

Lot 1 DPS 49549 Consent No. ABA 96245

To The Hamilton City Council:

Please be advised that our company McGUIRE Plumbing Ltd.

Has completed a pressure test on the plumbing system in the building at the above address. We certify that the system was tested to 1500kpa for a period of 30 minutes. This test was conducted in accordance with manufacturer recommendations and complies with the pressure testing provisions of the New Zealand Building Code and Approved Solution G12 AS1 and AS/NZS3500.1.2 as appropriate.

We advise that we have current public liability insurance to the value of at least \$500,000 and have approved quality control measures for recording purposes in place.

We understand that the Hamilton City Council will conduct random audits of our work where a producer statement has been used. If a workmanship or technical fault is detected from these audits then we undertake to carry out all appropriate remedial work as agreed is necessary by both parties in the particular circumstances.

Issued By J. H. McGuire

Address 47 Mairangi Cres Hamilton

Contact Phone Number 0274 938 710

Signature [Signature]

Date Registration Number 02986



plaster
SYSTEMS LTD

A NUPLEX GROUP COMPANY

3517

PRODUCER STATEMENT

WORK COMPLETED BY: Waikato Decorators 1999 037
(Licensed Plaster Systems Contractor Name & Licence No.)

TO: GJ Gardner Homes
(Owner)

TO BE SUPPLIED TO: Waikato DC
(Territory Authority)

IN RESPECT OF: 50mm New Generation Insulclad System
(Description of cladding system installed)

CLADDING SYSTEM BRANZ APPRAISAL No.: 25715
(Appraisal Certificate No.)

AT: Lot 1, 43 Sainsbury Rd Puketaka
(Address of site)

DATE OF COMPLETION OF WORK: 12/5/03

The Plaster Systems Licensed Contractor certifies that this project has been completed with materials that meet Plaster Systems Limited specifications and that all the work has been carried out in accordance with Plaster Systems Limited installation instructions and current BRANZ Appraisal Certificate.

If the Insulclad System is used and installed in accordance with the statements and conditions of the Insulclad Systems Appraisal Certificate the following NZBC Clauses will be met: B1 Structure; B2 Durability; E2 External Moisture; E3 Internal Moisture; F2 Hazardous Building Materials; and H1 Energy Efficiency.

This Producer Statement does not cover the suitability or stability of the site or the products or systems applied by trades other than those of the Licensed Plaster Systems Contractor.

NAME: Tony Lamb

SIGNED: [Signature] DATE: 12/5/03

TECHNOLOGY TRANSFORMING TRADITION

HEAD OFFICE: 121-123 Diana Drive, Auckland. Telephone (0800) 11 44 00 Facsimile (06) 444 9561

96245.?



OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D.3, Hamilton. Ph/Fax. 07 856-8742

E. mail: oakley@wave.co.nz

OBSERVATION STATEMENT (CONSTRUCTION)

This is to confirm that I have observed the construction of the elements or the whole structure as described below:

OWNER: KEITH + DIANE BILLINGTON
IN RESPECT OF: ON-SITE DOMESTIC WASTE WATER SYSTEM

(Description of Building Work)

AT: 43 SAINSBURY ROAD, PUKETAHA
LOT: 1 DP: S 91328 SO:

D.J. Oakley (B.E. Civil)

Date 8/5/03 Job No: 02-296

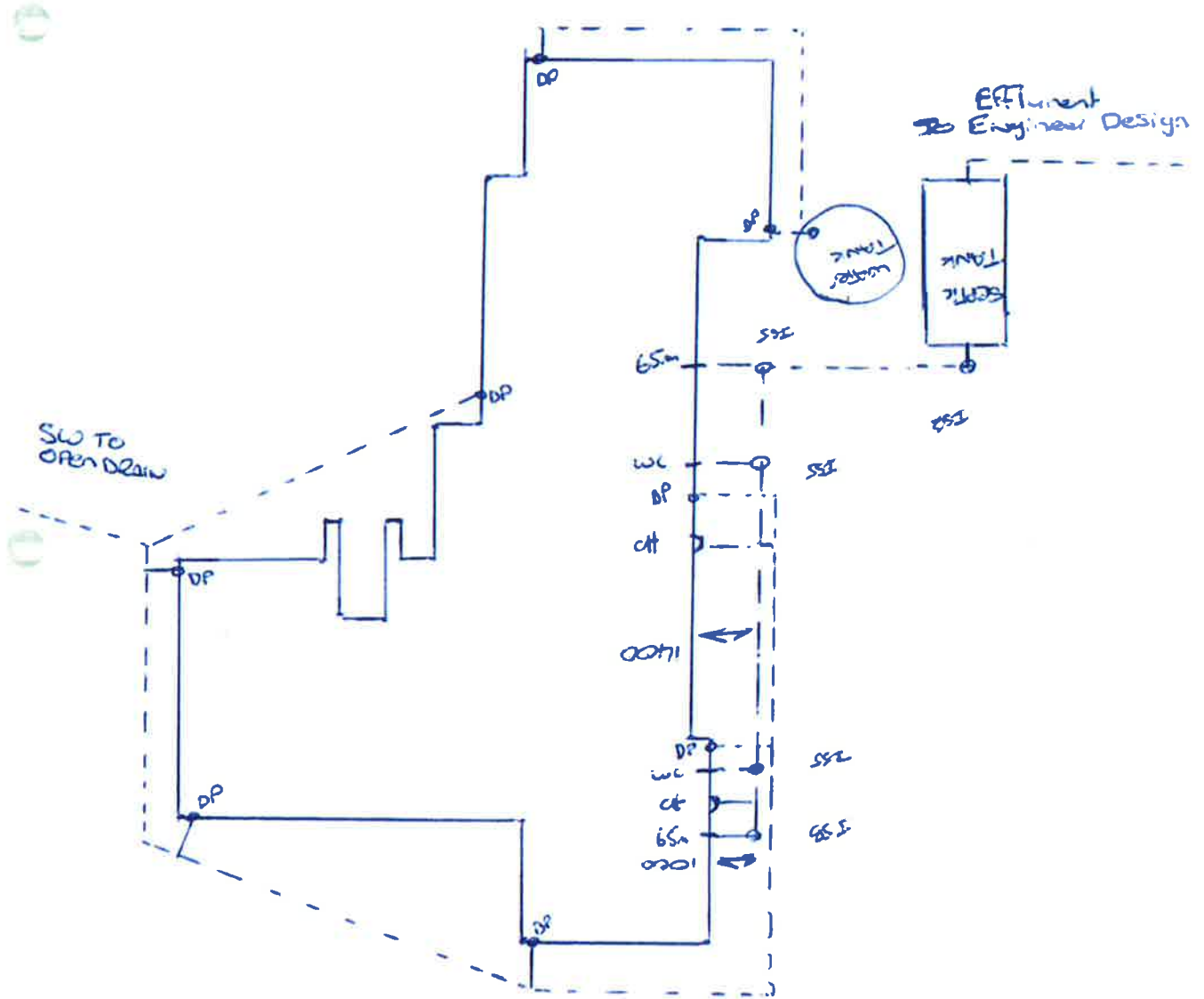
Date Received By
13 MAY 2003
Community Services

V
Matt Ref: <u>05/0369</u>
Referred to:
HE: <u>12 MAY 2003</u> RECD
Copy:
Instruc:
<u>initial</u>

**BUILDING UNIT
AS LAID DRAINAGE PLAN**

STREET: <u>Sainsbury RD</u> No: _____	LOT: <u>1</u> DPS <u>91326</u>
OWNER: <u>Billington</u>	DRAINLAYER: <u>Drainage Systems</u>
INSPECTOR: <u>M.</u>	REG No: <u>15635</u>
DATE OF INSPECTION: <u>8.5.04</u>	CONSENT No: <u>BA 96245</u>

DRAINLAYER PLEASE FILL IN ALL DETAILS



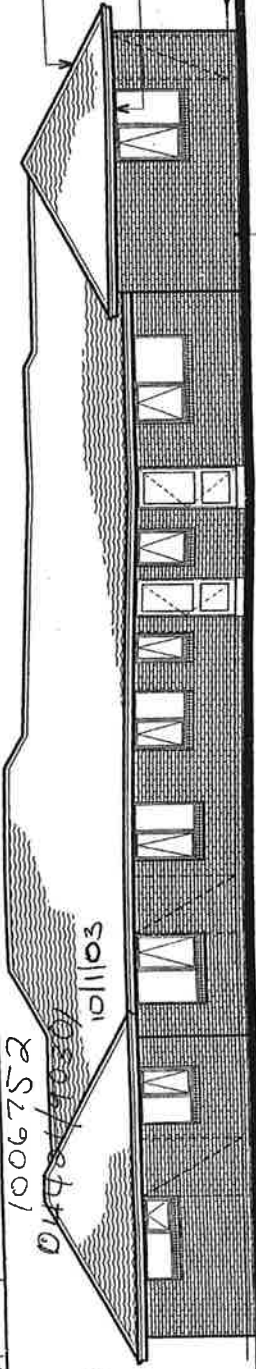
DRAINLAYER'S SIGNATURE: _____

DATE: 8.5.04

3 of 7 ABA 96245
1006752
049844030

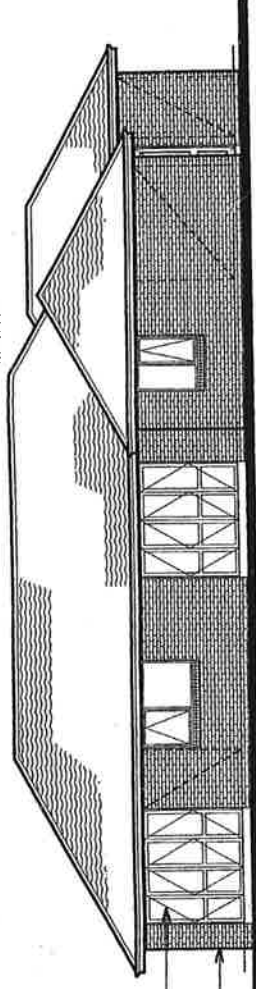
Waikato District Council
SELECTED COLOR FOR THE ROOFING
AT 29/08/02
REC'D 14 NOV 2002
REC'D
WIND UPLIFT HEIGHT FOR BOAT
GARAGE: 1085-2400
MAIL

FINISHED FLOOR LEVEL (F.F.L.)
STORE F.F.L. TO BE 50mm BELOW
MAIN F.F.L.

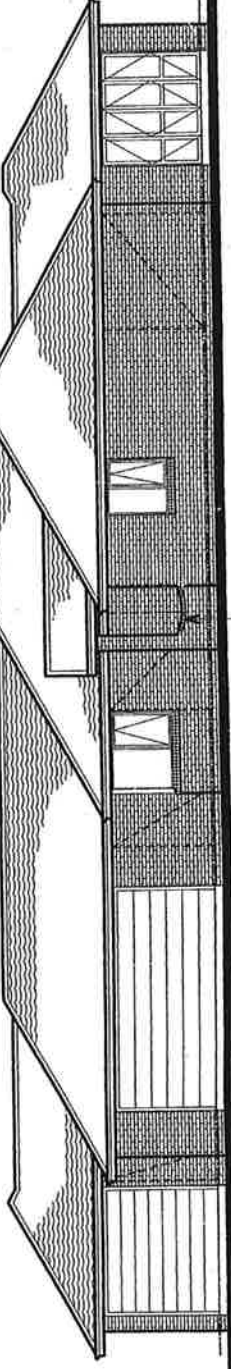


ELEVATION 1

SELECTED POWDER COATED ALUMINIUM
JOINERY
SELECTED 70mm BRICK VENEER EXTERIOR
CLADDING



ELEVATION 2

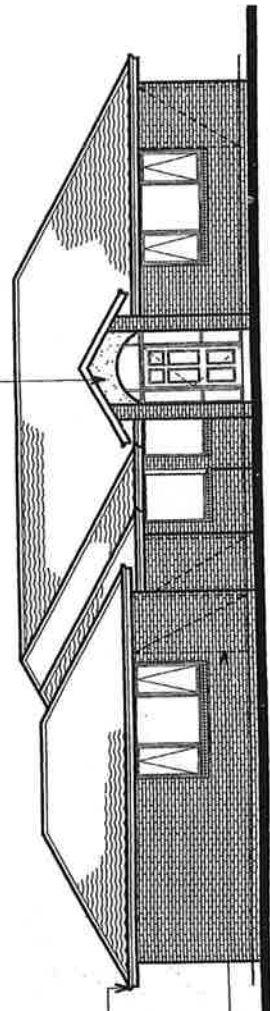


ELEVATION 3

FEATURE DOUBLE SKIN BRICK WALLS
TO BE CONFIRMED ON SITE
COMBINATION COLOR-STEEL FASCIA AND
GUTTER SYSTEM

FINISHED FLOOR LEVEL TO ADJACENT
GROUND LEVEL - BRICK - 100MM PAVED
150MM UNPAVED; OTHER CLADDING
150MM PAVED 225MM UNPAVED

POLYSTYRENE EXTERIOR CLADDING
WITH SELECTED PLASTER FINISH
ABOVE ENTRANCE DOOR



ELEVATION 4

REFER TO BRACING PLAN SHTS AND BRACING
CALCS FOR FURTHER INFORMATION

ELEVATIONS

G.J. Gardner.HOMES
Hamilton
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THE PURCHASER: OF 20
BUILDER

Client: KEITH AND DEANE BILLINGTON
Project: NEW RESIDENCE ON SAINSBURY ROAD
Date: 7 NOV 02
Scale: 1:100
Revision:
Job No: 300319
Sheet No: 3 of 6

JUNE 2003

DOCUMENT MANAGEMENT COMPANY HAMILTON

4 of 7 ABA 96245.
 1006752
 04421/90301

10/1/03

Waikato District Council
 Mail Ref.
 Referred to:
 RECD 14 NOV 2002 RECD
 Copy to:
 Instructions: MAIL

NOTE:
 WALL CLADDING IS 70mm
 BRICK VENEER

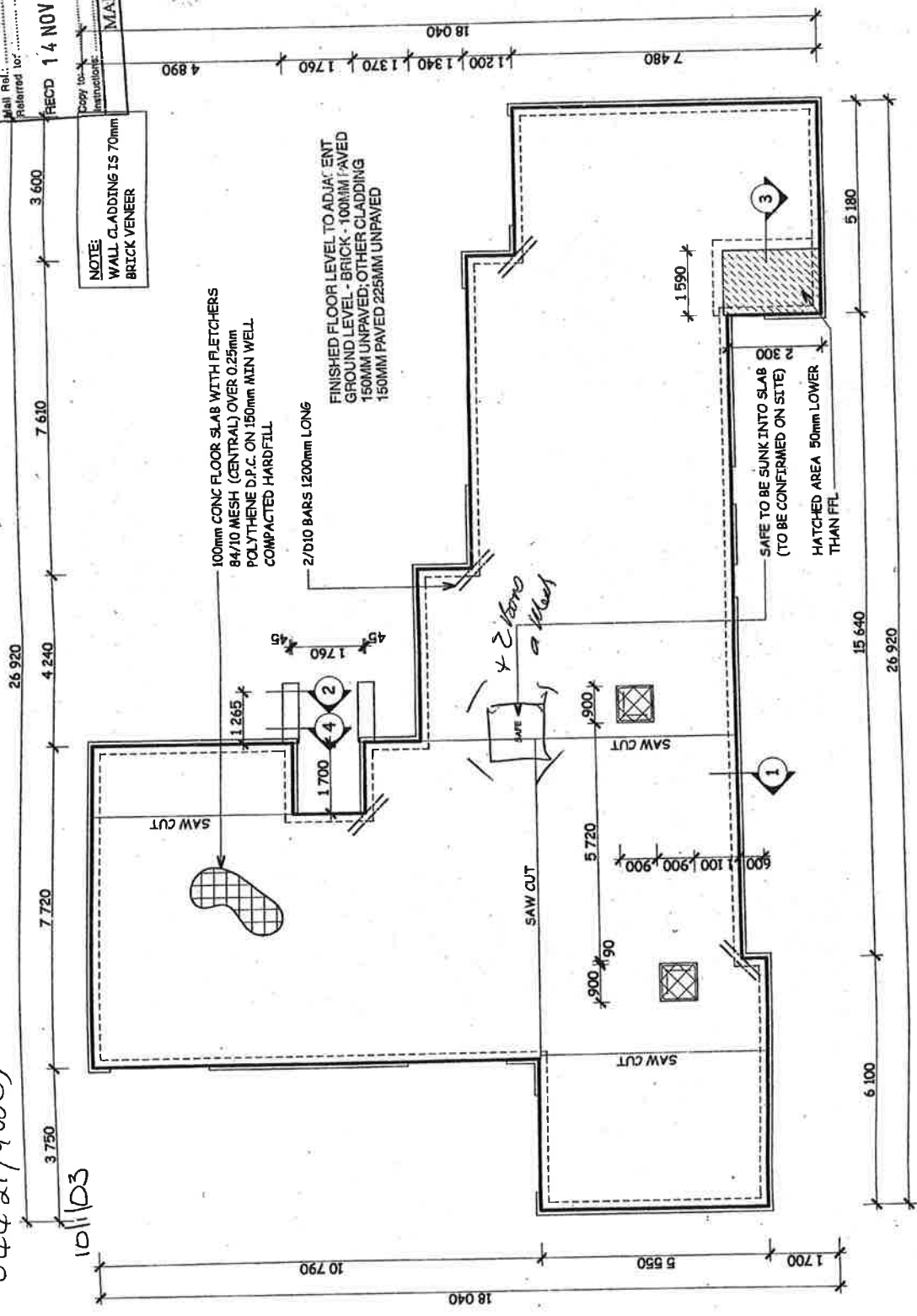
100mm CONC FLOOR SLAB WITH FLETCHERS
 84/10 MESH (CENTRAL) OVER 0.25mm
 POLYTHENE D.P.C. ON 150mm MIN WELL
 COMPACTED HARDFILL

2/D10 BARS 1200mm LONG

FINISHED FLOOR LEVEL TO ADJACENT
 GROUND LEVEL - BRICK - 100MM PAVED
 150MM UNPAVED; OTHER CLADDING
 150MM PAVED 225MM UNPAVED

SAFE TO BE SUNK INTO SLAB
 (TO BE CONFIRMED ON SITE)
 HATCHED AREA 50mm LOWER
 THAN FFL

SAVE
 x 2 bars
 on floor



Job No. 300319	Date: 07 NOV 02
Sheet No. 4 of 6	Scale: 1:100
Project: NEW RESIDENCE ON SAINSBURY ROAD	

THE PURCHASER OF
 OF
 BUILDER
 PURCHASER:
 HATCHED AREA 50mm LOWER THAN FFL

G.J. Gardner. HOMES
 Hamilton
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Drawn By: JC
 House Type: MODIFIED REGINA

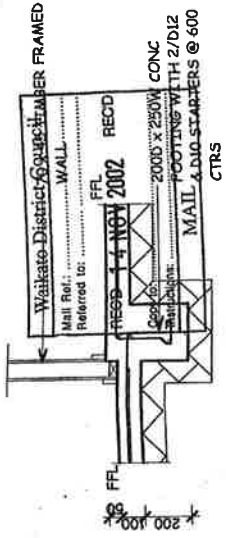
FOUNDATION PLAN

JUNE 2003

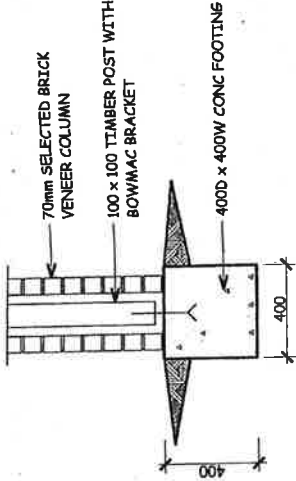
MANAGEMENT COMPANY HAMILTON

5 of 7 7814 96245

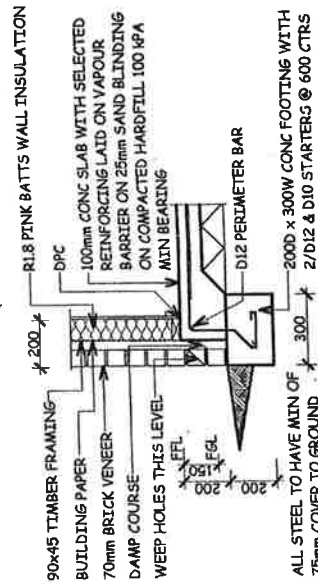
1006752
0421/90301
10/11/03



FOOTING DETAIL 3



FOOTING DETAIL 2

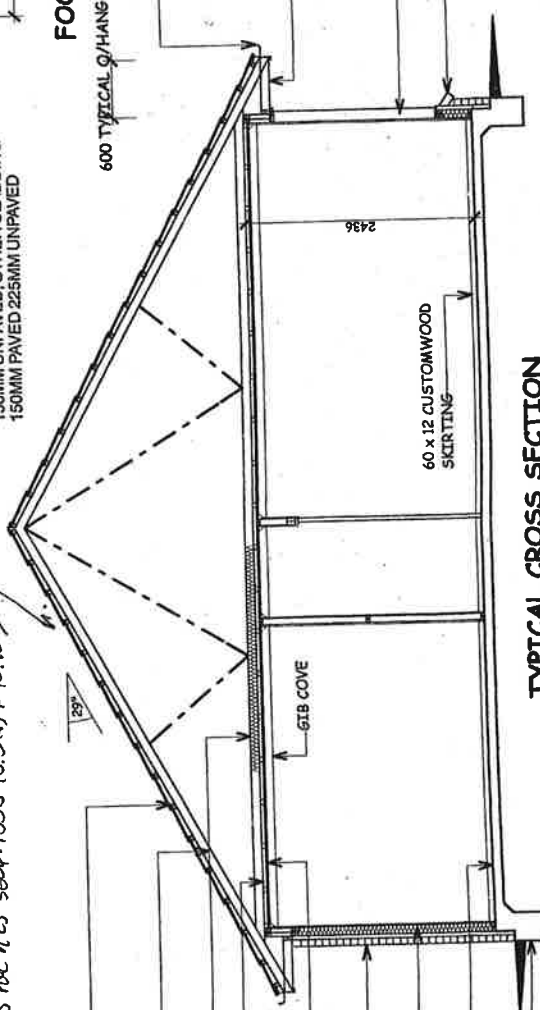


FOOTING DETAIL 1

FOOTING DETAIL 2

FINISHED FLOOR LEVEL TO ADJACENT GROUND LEVEL - BRICK - 100MM PAVED 150MM UNPAVED - OTHER CLADDING 150MM PAVED 225MM UNPAVED

BATTEN FIXING AS PER NZS 3604:1995 (0.5G) + 10.10



TYPICAL CROSS SECTION

REFER TO FOUNDATION DETAIL

CROSS SECTION AND DETAILS

Drawn By: JC
House Type: MODIFIED ECONOMIA

THE PURCHASER OF 20 BUILDERS

G.J. Gardner. HOMES
Hamilton
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Client: KEITH AND DIANE BELLINGTON
Date: 07 NOV 02
Scale: 1:50/1:20
Project: NEW RESIDENCE ON SAINSBURY ROAD

Job No: 300319
Sheet No: 5 of 6

OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D. 3, Hamilton. Ph./Fax. 07 856-8742

27/11/2002

Job No: 02-296

Date Received By

29 NOV 2002

Community Services

***ON-SITE HOUSEHOLD
WASTEWATER DISPOSAL SYSTEM***

FOR

KEITH AND DIANE BILLINGTON'S

PROPOSED HOUSE

ON LOT 1 DPS 91328

AT 43 SAINSBURY ROAD, PUKETAHA

(G.J.Gardner HOMES)

OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D.3, Hamilton. Ph/Fax. 07 856-8742

E. mail: oakley@wave.co.nz

PRODUCER STATEMENT (DESIGN)

This is to certify the design of the elements or the whole structure as described below:

OWNER..... KEITH AND DIANE BILLINGTON

IN RESPECT OF..... ON-SITE DOMESTIC-WASTEWATER SYSTEM

(Description of Building Work)

AT..... 43 SAINSBURY ROAD, PUKETAHA

LOT..... 1 DP..... 91326 SO.....

DESIGN:

This Producer Statement has been prepared after carrying out a design in general accordance with the appropriate Verification Methods and Acceptable Solutions listed as approved by the Building Industry Authority but more particularly as follows:

1. AS/NZS 1547:2000 Australian/New Zealand: On site domestic-wastewater management

The work is described on the drawing titled..... ON-SITE HOUSEHOLD WASTEWATER SYSTEM AT 43 SAINSBURY ROAD, PUKETAHA

and numbered..... S1 and the specifications and other documents according to which the building is proposed to be constructed.

As an independent design professional covered by a current policy of professional indemnity insurance to a minimum value of \$200,000.00, I BELIEVE ON REASONABLE GROUNDS, that subject to: all proprietary products meeting the performance specification requirements, the drawing, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

I am a member of: SESOC, HERA, NZTDS and CCANZ.



D.J. Oakley (B.E. Civil)

Date 27/11/2002 Job No: 02-296

OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D.3, Hamilton. Ph/Fax. 07 856-8742

E. mail: oakley@wave.co.nz

OBSERVATION STATEMENT (CONSTRUCTION)

This is to confirm that I will observe the construction of the elements or the whole structure as described below:

OWNER:.....KEITH AND DIANE BILLINGTON.....

IN.RESPECT.OF:.....ON-SITE DOMESTIC WASTE WATER SYSTEM.....

.....
.....

(Description of Building Work)

AT:.....43 SAINSBURY ROAD, PUKETAHA.....

LOT:.....1.....DP:.....91326.....SO:.....

D.J. Oakley

D.J. Oakley (B.E. Civil)

Date 27/11/2002 Job No: 02-296

OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D.3, Hamilton, New Zealand
Ph/Fax. 07 856-8742 E. mail: oakley@wave.co.nz

**SITE REPORT AND DESIGN
FOR ON-SITE DOMESTIC-WASTEWATER SYSTEM**

Date of assessment: 26/11/2002

Signature of evaluator:



SITE INFORMATION

Address/locality of site: 43 Sainsbury Road, Puketaha

Council Area: Waikato District Council

Owner: Keith and Diane Billington

Address: Puketaha Road R.D.1

Site plans attached: Yes (X), No ()

Intended water supply: Rainwater

Expected wastewater quantity 1080 (litres/day)

Local experience: Yes (X), No ()

SOIL ASSESSMENT

Depth to high soil watertable 0.4 m

Hydraulic loading rate (where applicable):

Soil structure: Weakly structured

Soil texture: Sandy loam

Indicative permeability $K = 0.1$ m/day

Measured soil permeability = 25 mm/hr

Design loading rate (DLR) recommended for soil adsorption system 6 mm/day

SITE ASSESSMENT

Flood potential:

Land application area above 1 in 20 year flood level: Yes (X), No ()

Land application area above 1 in 100 year flood level: Yes (X), No ()

Exposer: Exposed to all winds

Landform: Flat

Erosion potential: None on the house site and the area of the effluent disposal field

Site drainage: Poor

Groundwater: Distance to domestic groundwater well, >30 metres

Buffer distances from wastewater management system to:

Permanent water >30 m

Boundary 3 m

Buildings 5 m

Swimming pool N/A

Is there sufficient land area available for:

Reserve application system, Yes (X), No ()

DESIGN PARAMETERS

Based on: On-site domestic-wastewater management AS/NZS 1547:2000

Bedrooms: (4) = 6 people

Wastewater flow rate: 180 l/p/d = 1080 litres/day

Soil Type: sandy loam, category 3 soil,

Design loading rate for trenches 6 mm/d

SYSTEM SELECTION

Treatment system: Conventional septic tank, 4500 Litre with Zabel A1800 Filter, and an effluent dosing pump in the second chamber

Type of land application system: Conventional absorption trenches

Land application area: $1080/(6) = 180$ sq. metres, recommend 24mx8m

MODEL DESIGNED FOR A BASIC HOUSEHOLD OF:

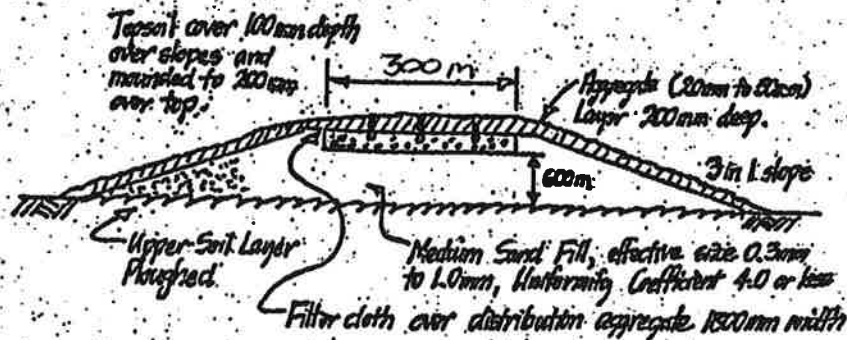
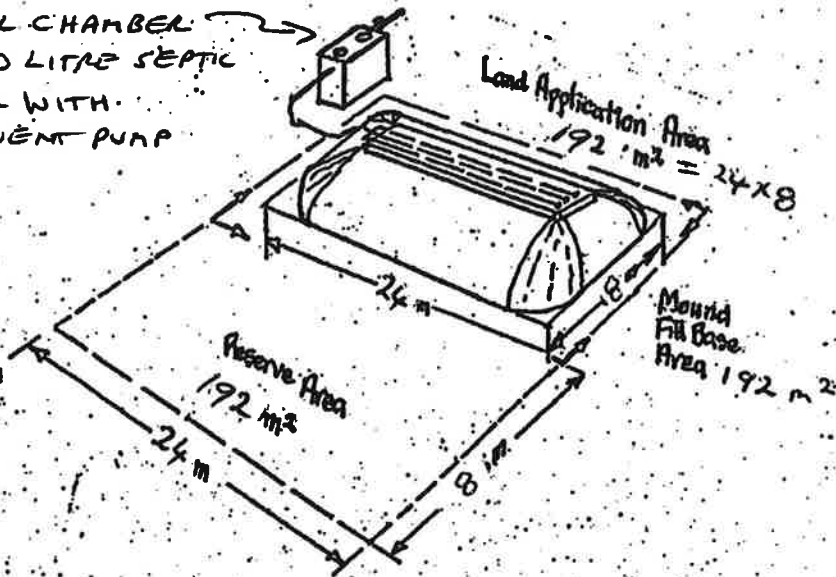
- 4 bedrooms
- 6 people
- with rainwater tank water supply, resulting in average water use of 160 litres/person/day
- maximum wastewater effluent for land application of 160 litres/day

TREATMENT UNIT and LAND APPLICATION AREA LAYOUT

Details for Flat Site:

SYSTEM LAYOUT

DUAL CHAMBER
4500 LITRE SEPTIC
TANK WITH
EFFLUENT PUMP



Note: Not to Scale

43 SAINSBURY ROAD
 CIRCULATION SHEET

JOB NAME: BILLINGTON		PAGE No:
SECTION:		
JOB No: 02-296	DESIGNED: J. Oakley	
DATE: 26/11/2002	CHECKED:	

SINGLE STAGE TANK + PUMP TO RAISED RFD SYSTEM

- 4 ROOM HOUSE - SAY 6 PEOPLE
- 180 l per person / day
- Maximum wastewater effluent for load application
 $= 6 \times 180 = 1080 \text{ l/day}$
- DLR = $10 \text{ l/m}^2/\text{day} = 10 \text{ mm/day}$ - design loading rate moderate clays
 - use for bed system - AS/NZS 1547 Pt 116

Consider that only the bottom of the bed absorbs the effluent. (conservative design)

- Let bed width be 8.0 m
- Length of bed $L = \frac{Q}{DLR \times W} = \frac{1080}{6 \times 8} = 22.5 \text{ m}$ say 24 m

SEPTIC TANK HUMES RD 5000

PUMP CHAMBER / PUMP

recommend 200 L min.

• Try 600 ϕ pipe, max. depth = 1200 m

$Vol = \pi \times \left(\frac{0.60}{2}\right)^2 \times 1.2 = 0.334 \text{ m}^3$

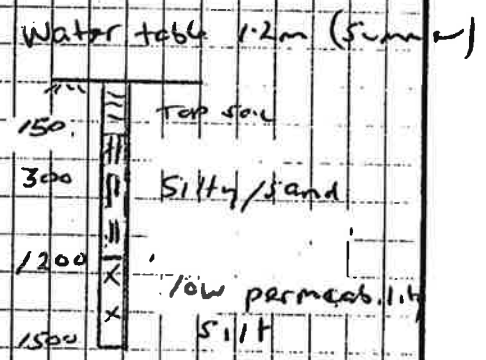
$Vol. = 1000 \times 0.334 = 334 \text{ L}$ o.k. say 250 L available with pump

Use pump with 50 l/min with operating head 5.0 m

No. of starts/day = $\frac{1080 \text{ L}}{250 \text{ L}} = 4.3$ say 5 times.

@ 50 l/min Time to discharge = $250/50 = 5 \text{ min.}$

i.e. pump will operate for 5 min. 5 times a day.



OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY

B.E. (CIVIL)

72a Riverglade Drive, R.D. 3, Hamilton, New Zealand
Ph./Fax. +(64)07 856-8742, E. mail: oakley@wave.co.nz

OPERATION AND MAINTENANCE REQUIREMENTS FOR THE ON-SITE DOMESTIC WASTEWATER SYSTEM

Advice to a home owner/occupier on use of the system

For the on-site wastewater system to function efficiently the following guide lines should be adopted.

- (a) In order to reduce sludge building up in the tank:
 - (i) Scrape all dishes to remove fats, grease, etc. before washing
 - (ii) Keep all possible solid out of the system
 - (iii) Do not use a garbage grinder unless the system has been specifically designed to carry the extra load
 - (iv) Do not put sanitary napkins and other hygiene products into the system

- (b) In order to keep the bacteria working in the tank and in the land application area:
 - (i) Use biodegradable soaps
 - (ii) Use a low-phosphorus detergent
 - (iii) Use a low-sodium detergent in dispersive soil areas
 - (iv) Use detergents in the recommended quantities
 - (v) Do not use powerful bleaches, whiteners, nappy soakers, spot removers and disinfectants
 - (vi) Do not put chemicals or paint down the drain.

- (c) Conservation of water will reduce the volume of effluent requiring disposal to the land-application area, make it last longer and improve its performance. Conservation measures include:
 - (i) Instillation of water-conservation fittings
 - (ii) Taking showers instead of baths
 - (iii) Only washing clothes when there is a full load

- (iv) Only using the dishwasher when there is a full load
- (d) Avoid overloading the system by spacing out water use as evenly as possible

Comment. *Do not do all the washing on one day. Do not run the washing machine and dishwasher at the same time.*

Advice on maintenance

- (a) The primary wastewater-treatment unit (septic tank) will need to:
 - (i) Be desludged regularly i.e. every three to five years or when scum and sludge occupy 2/3 of the volume of the tank (or first stage of a two-stage system)
 - (ii) Be protected from vehicles
 - (iii) Have any grease trap cleaned out regularly
 - (iv) Keep the vent and/or access cover over the septic tank exposed
 - (v) Arrange with the installer to have any pump and outlet filter inspected and cleaned every 6 months. **This is essential to prevent excessive build-up of sludge and failure of the system.**
- (b) The land-application area needs protection as follows:
 - (i) Spray or irrigation areas are not play areas for children and access should be restricted
 - (ii) Any evapo-transpiration areas should be designed for deter pedestrian traffic
 - (iii) No vehicles or stock should be allowed on trenches or beds
 - (iv) Deep rooting trees or shrubs should not be grown over absorption trenches or pipes
- (c) Evapo-transpiration and irrigation areas should have their grass mowed and plants maintained to ensure that these areas take up nutrients with maximum efficiency.
- (d) Signs for spray-irrigation areas should ensure that appropriate warning signs are always visible to persons undertaking any activity near a spray-irrigation area
- (e) Check equipment and:
 - (i) Follow the manufacturer's instructions for maintaining and cleaning pumps, siphons and septic tank filter.

- (ii) Clean disc filters or filter screens on irrigation-dosing equipment periodically (6 monthly) by rinsing back into the primary wastewater-treatment unit.
- (iii) Flush drip irrigation line periodically to scour out any accumulated sediment

Advice on operating problems:

Problems can occur with systems which have not been maintained and where absorption areas have become blocked or clogged. The warning signs are obvious:

- (a) Absorption field is wet or soggy with wastewater ponding on the surface of the ground
- (b) There is a smell of "sewage" near the septic tank of absorption area
- (c) The drains and toilets run slowly
- (d) The grease trap is full or blocked

Advice on the consequences of failure:

A failed septic tank and land-application system is a serious health and environmental hazard and can lead to:

- (a) Spread of infectious diseases
- (b) Breeding of mosquitoes and attraction of flies and rodents
- (c) Nuisance and unpleasantness
- (d) Pollution and infection of waterways, beaches, streams and shellfish beds
- (e) Contamination of bores, wells and groundwater
- (f) Alteration of the local ecology

Advice on home owner/occupier responsibilities:

Homeowners and occupiers are legally responsible to keep their on-site wastewater system in good working order. If any of the warning signs are evident, the homeowner or occupier must contact the nearest local government office immediately.

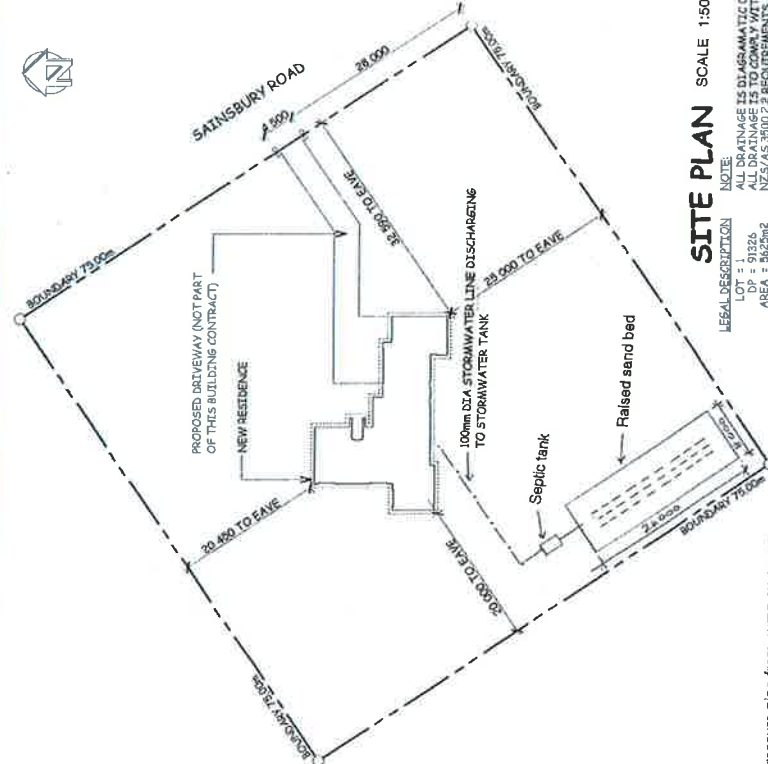
DRAWING NOTES

1. Septic tank shall be 4500 L dual chamber, fitted with a Zabel A1800 Filter and manufactured in accordance with AS/NZS 1546.1:1996
2. The effluent pump shall be installed in the second chamber. It shall be a free standing, single phase, variable speed pump which has a minimum capacity of 50 litres/min and an operating head of 5.0m
3. The pump shall have an automatic electronic float control switch and a suitable minimum operating depth. A EIM SF 400 pump or similar is recommended
4. Effluent bed to be sited at least 3m clear of the house and boundary, and 30m clear of a Natural State Water Body
5. Distribution bed and lines to be at the same level and laid out at a gradient no greater than 1 in 2000
6. Distribution bed to be 3m x 27m and 250mm deep
7. The open channel drains must be cleaned out and maintained regularly for the effluent disposal field to operate effectively

The owner/installer must operate and maintain the system in accordance with requirement set out in the design documents. Particular attention is drawn to the fact that 1) a garbage disposal unit must not be used, 2) The pump and outlet filter must be inspected and cleaned every 6 months by the installer to prevent blockage and failure of the system

The Engineer must certify the construction of the effluent disposal system and forward a copy of the "OBSERVATION STATEMENT (CONSTRUCTION)" to the Council on its completion. He must be given 48 hours notice to observe the construction of the effluent bed

DESIGN CERTIFICATE:
The Engineer must certify these drawings with a Design Producer Statement and engineering calculations



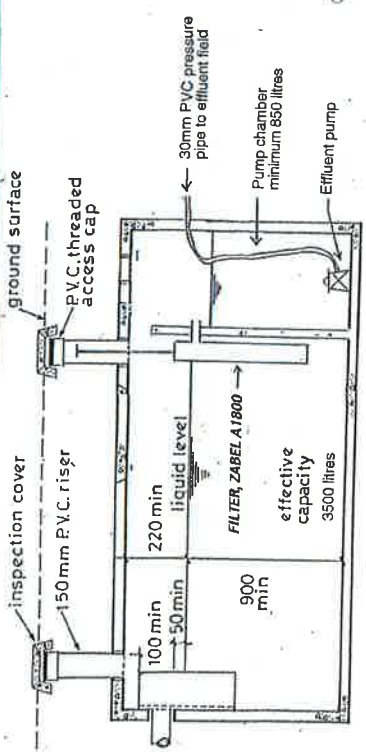
SITE PLAN SCALE 1:500

LEGAL DESCRIPTION
LOT 1
DP - 91326
AREA = 5625m²

NOTE:
ALL DRAINAGE IS DIAGRAMATIC ONLY
ALL DRAINAGE IS TO COMPLY WITH
NZS/AS 3500 2.2 REQUIREMENTS

Date Received By
2 8 NOV 2002

Consultancy services

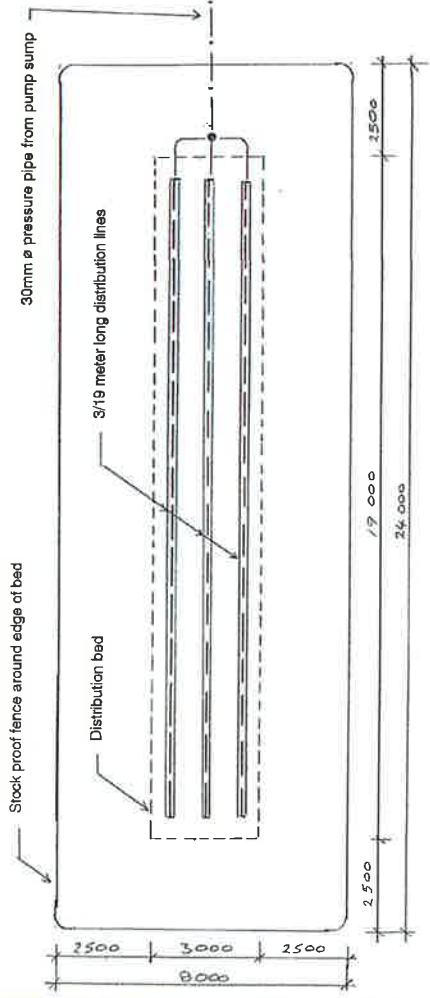


DUAL CHAMBER, 4500 LITRE SEPTIC TANK WITH EFFLUENT PUMP

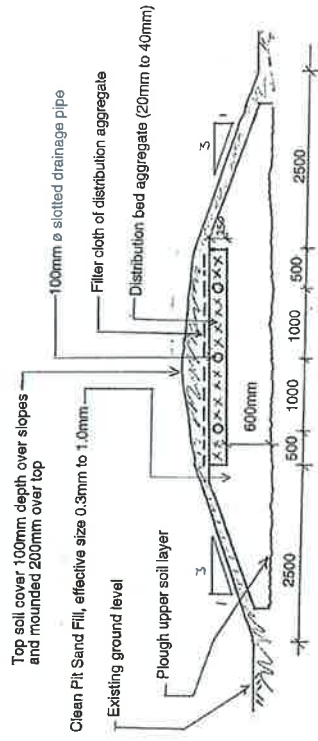
Distribution line 100mm slotted PVC drain pipe. Inside this pipe place 30mm diameter polyethylene pipe with 3mm dia. holes at 600 c/s. drilled into the top of the pipe. Fix ends with removable cap to enable maintenance.



DISTRIBUTION LINE SCALE 1:5



EFFLUENT DISPOSAL FIELD PLAN (Wisconsin Mound) 1:100



SECTION A-A SCALE 1:50

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ON-SITE HOUSEHOLD WASTEWATER DISPOSAL SYSTEM

43 SAINSBURY ROAD
PUKETAHA

LOT 1 DPS 91328

DATE	SCALE	SHEET
27/11/2002	1:50	S1
DATE	SCALE	SHEET
02/11/2002	1:50	S1

REF 02-296



FINAL CODE COMPLIANCE CERTIFICATE

Section 94(1) Building Act 2004
 ISSUED BY THE WAIKATO DISTRICT COUNCIL
 BUILDING CONSENT NUMBER: BLD1119/08

FILE

BUILDING LOCATION:	BUILDING WORK
43 Sainsbury Road PUKETAHA	Swimming Pool
APPLICANT:	PROJECT
T J French, L French 43 Sainsbury Rd RD 1 Hamilton 3281	
CONTACT:	Indefinite but not less than 50 years
Laguna Pools Waikato 17 Exelby Rd Hamilton	
LEGAL DESCRIPTION:	
Property Number: 2005874 Valuation Roll Number: 04421/900.01 Legal Description: LOT 1 DP 313908	

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of Council:


Signature:

Name: Rob Koppers
 Position: **Building Control Officer**
 Date: 12 June 2008

BUILDING CONSENT NO: BLD1119/08

Section 51, Building Act 2004

ISSUED BY: WAIKATO DISTRICT COUNCIL

BUILDING LOCATION	BUILDING WORK
43 Sainsbury Road PUKETAHA	Swimming Pool
APPLICANT	PROJECT
T J French, L French 43 Sainsbury Rd RD 1 Hamilton 3281	Indefinite but not less than 50 years Swimming Pool \$25000
CONTACT	Total Est. Value of Projects \$25000
Laguna Pools Waikato 17 Exelby Rd Hamilton	
LEGAL DESCRIPTION	
Property Number: 2005874 Valuation Number: 04421/900.01 Legal Description: LOT 1 DP 313908	
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$0.00 ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council:  Jodi Bell-Wymer ENVIRONMENTAL ADMINISTRATION Date: 16 May 2008

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent BLD1119/08".

Waikato District Council
Conditions of Building Consent Certificate No: BLD1119/08

The Building Consent Certificate is issued subject to the following conditions:

- 1 If the site is connected to a reticulated water supply, a back flow preventer shall be fitted.
- 2 The maximum depth of water in the swimming pool shall not exceed 400mm until such time as a Code Compliance Certificate has been issued for the swimming pool and fence.
- 3 Owner/Builder **MUST** locate boundary pegs prior to Council carrying out a foundation inspection.
- 4 **At least 48 hours' notice** is required prior to the intended commencement of construction:
 - Siting, foundation (prior to pouring concrete)**AND at least 24 hours' notice** prior to any of the following inspections (See Building Regulations 1992):
 - Swimming pool fencing
 - Final inspection to be called for (the owner or builder shall be on site at time of inspection)
 - Owner/builder to locate boundary pegs prior to council carrying out a foundation/siting inspection.**Waikato District Council contact phone number is (07) 824 8633.**
- 5 Lapse of building consent. A building consent lapses and is of no effect if the building work to which it relates does not commence within:
 - a) 12 months after the date of issue of the building consent
 - b) Any further period that the building consent authority may allow
 - c) If reasonable progress on the building work has not been made within 12 calendar months after work has commenced.

The Council can exercise its discretion in either case.
- 6 Soils may be soft in this area. Foundations shall sit on soils capable of supporting 100kpa. If soft soils are encountered an engineer's design of the foundations will be required.
- 7 Stairs, stair handrails and barriers shall comply with the requirements of the NZ Building Code D1/AS1, B1/AS2 and F4/AS1.
- 8 All drainage and plumbing shall comply with the New Zealand Building Code 1991.
- 9 Backwash shall be disposed of in an approved manner.
- 10 The swimming pool shall be enclosed with a fence complying with the Fencing of Swimming Pools Act 1987.

Date: 16 May 2008

Signed:



**Brett Payne
Waikato District Council**

B10 - BldCert04 - VI Jul 07

5 MAR 2008

1.2m Hg h
1.2m Pool Fencing

Spa Pool

Existing 1.2m Wooden Paling Fence

Backwash Pit

Pump & Filter Shed

Contemporary
9m x 4.20

14.5m

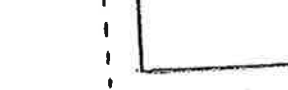
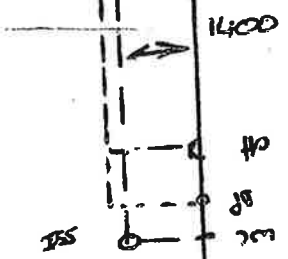
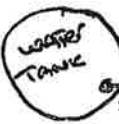
GATE
Manipulator
Self Closing

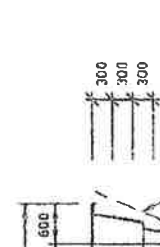
1.2m Pool Fencing

See to owner

POOL AREA
43 Sainsbury Rd
Lot 1
DP 91326

EFT
Engineering Design

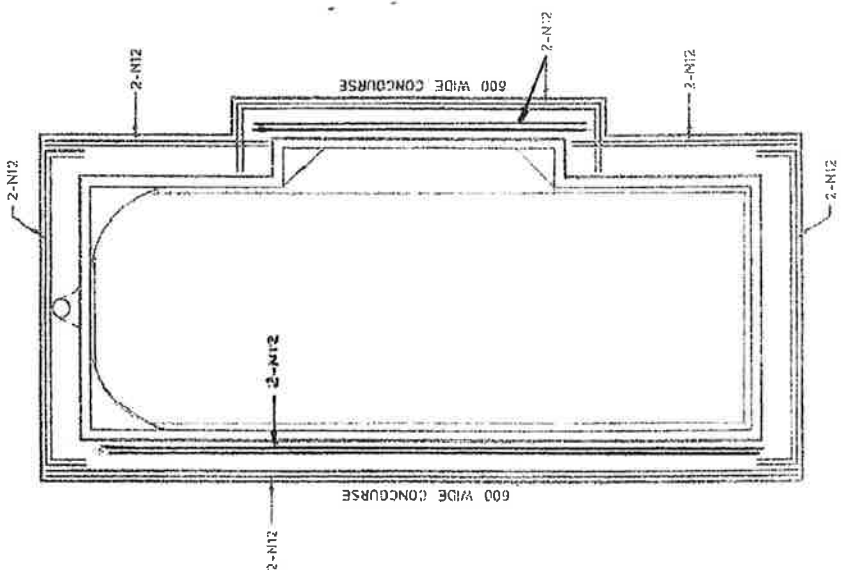




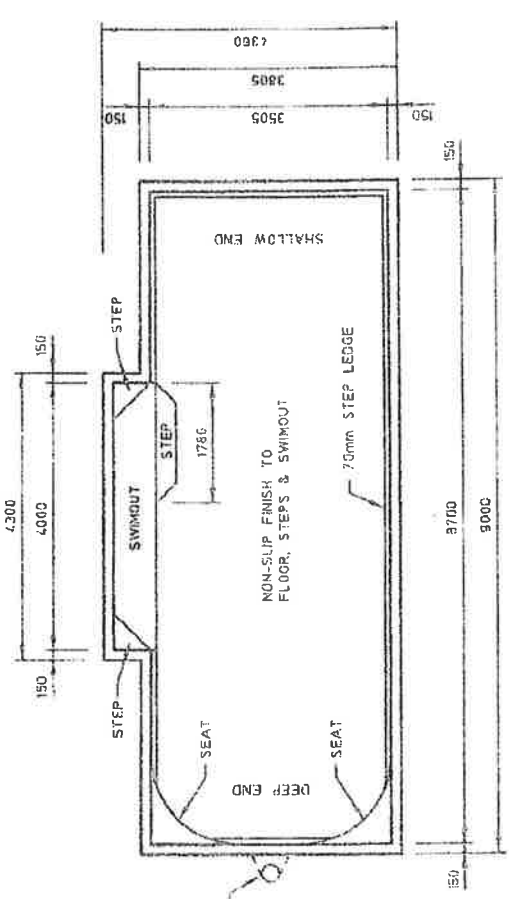
BACKFILL ALL ROUND IN ACCORDANCE WITH AS-1839 CLAUSE 5.2

POOL SECTION

5 MAR 2008



CONCOURSE PLAN

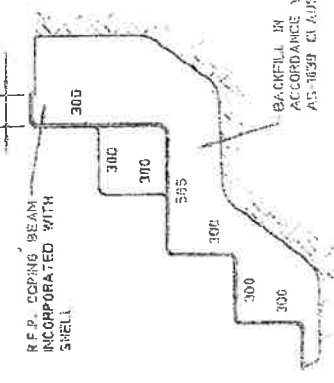


POOL PLAN

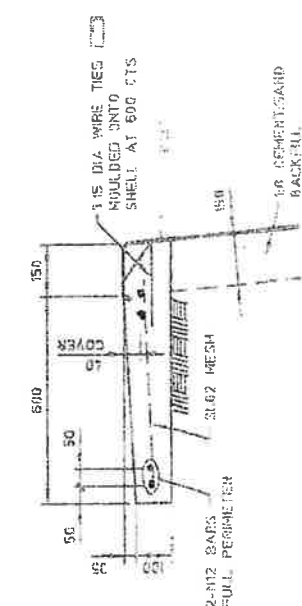
70mm DEEP DRAIN ACROSS DEEP END OF POOL IN GRAVEL FILLED TRENCH

SKIMMER

STAND PIPE POSITION OPTIONAL



SKIMMER DETAIL
SCALE 1:20



CONCOURSE SECTION
SCALE 1:20

CONTEMPORARY 9.0m

NOTES:
General design & installation in accordance with AS-1838 and AS-1839 and all relevant by-laws and regulations.

Ralph Ellis Pty Ltd
Ralph Ellis C.P. Eng.
Consulting Engineer 22.1.2006.

HARVEST POOLS PTY LTD
Fibreglass Pool Manufacturers
50 Aruma Place
Cardiff NSW 2285



The Association of
Consulting Engineers
Australia

CIVIL & STRUCTURAL ENGINEERS
R.J. ELLIS, CPEng., M.I.E.Aust., M.I.Struct.E.

12th September 2007

RALPH ELLIS PTY. LTD.

A.B.N. 98 001 921 919 A.C.N. 001 921 919

Consulting Engineers

69 ANDREW ROAD

VALENTINE NSW 2280.

TEL: NEWCASTLE (02) 4946 1474

FAX: NEWCASTLE (02) 4946 1017

MOBILE: 0407 250 275

EMAIL: raja_ellis@yahoo.com.au

Project No: 07-084

PRODUCER STATEMENT – DESIGN REVIEW.

Issued By: Ralph Ellis of Ralph Ellis Pty Ltd

5 MAR 2008

To: Waikato District Council

**IN RESPECT OF: Fibreglass Swimming Pools Shells manufactured by
HARVEST POOLS PTY LTD of Cardiff N.S.W.**

To provide review of pool shell design and preparation of installation specification and typical details.

The design has been reviewed for compliance with the requirements of the New Zealand Building Code in accordance with AS/NZS 1838-1994 and AS/NZS 1839-1994.

And in accordance with sound and widely accepted principals as shown on the Harvest Pool Pty Ltd drawing titled;

Hunter 7.1, 8.1, 9.1, 9.5. Ceasar 7.7, 9.7, 11.7. Classic 8.0, 10.0. Contemporary 7.0, 8.0, 9.0, 10.0, 11.0.
Harvest 5.5. Lap Pool 12.0, 15.0 Miami & Spa.

And as visually inspected at Harvest Pools manufacturing premises at 50 Aruma Place, Cardiff N.S.W. Australia.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a value of no less than A\$500,000 the undersigned on reasonable grounds subject to:-

(i) The verification of the following design assumptions: - installed wholly in-ground in normal soils without highly reactive clays and surcharge

and

(ii) All propriety products meeting normal acceptable specifications requirements.

The parts as noted above comply with the relevant provisions of the Building Code as far as can be ascertained from visual inspection and calculations based upon aspects viewed at the place of manufacture.

Signature: Ralph Ellis

Date: 13-09-2007

Qualification P.C ENG, M.I.E.Aust. M.I. Struct E,

IE Aust No: 283741

Your Ref

In reply please quote
SPR02310 ; 04421/900.01

If calling, please ask for
Greg Finch



09 June 2016

T J French, L French
43 Sainsbury Road
RD 1
Hamilton 3281

Ngaruawahia Office
(Head Office)
15 Galileo Street, Ngaruawahia, 3720
Ph: 07 824 8633
Fax: 07 824 8091

Area Offices
Huntly Ph: 07 828 7551
Raglan Ph: 07 825 81 29
Tuakau Ph: 0800 492 452

Postal Address
Private Bag 544, Ngaruawahia, 3742
New Zealand

0800 492 452
www.waikatodistrict.govt.nz

Dear Sir/Madam

FENCING OF SWIMMING POOL ACT 1987 AT 43 SAINSBURY ROAD, PUKETAHA

An inspection carried out on 23 May 2016 has revealed that your pool has been fenced to comply with the Fencing of Swimming Pool Act 1987.

Over time it is possible that changes to your garden and and/or pool surrounds may compromise the compliance of your pool fence. Please note that it is the responsibility of the pool owner to ensure that fences continue to comply and, in particular, that gates, springs and latches are maintained to ensure that they remain in good working order.

The Council will continue to periodically inspect all pool fences in the district to check that compliance with the Act is being maintained.

Yours faithfully

A handwritten signature in blue ink, appearing to read "Greg Finch".

Greg Finch
BUILDING INSPECTOR

OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY B.E. (CIVIL)

72a Riverglade Drive, R.D. 3, Hamilton. Ph./Fax. 07 856-8742

26/11/2002

Date Received By

Job No: 02-297

29 NOV 2002

Community Services

SUBSOILS INVESTIGATION

FOR

KEITH AND DIANE BILLINGTON

ON LOT 1 DPS 91326

43 SAINSBURY ROAD

PUKETAHA

(G.J.Gardner HOMES)

OAKLEY CONSULTING ENGINEERS LTD

DAVE OAKLEY
B.E. (CIVIL)

72a Riverglade Drive, R.D. 3, Hamilton. Ph./Fax. 07 856-8742

Mr. Bob de Leeuw
G.J.Gardner Homes
P.O. Box 20-492
Hamilton

26/11/2002

Job No. 02-297

Dear Bob

Soils Investigation and Foundation Recommendation for the Proposed Residential Dwelling on Lot 1 DPS 91326 at 43 Sainsbury Road, Puketaha

INTRODUCTION

The purpose of the soils investigation was to determine and evaluate the subsurface conditions on the section and to evaluate what special conditions, if any, would be required for the foundation support of a single storey house designed to the New Zealand Standard NZS3604:1999 .

FIELD INVESTIGATION

The site was investigated by drilling three hand auger test bores and conducting three scalar penetrometer and shear vane tests at locations shown on the site plan. The test results are shown on the Bore Logs.

The purpose of these probes and bore holes was to provide guidance as to the general consistency and relative density of soils over the site and to determine approximate bearing levels for the foundations. Actual ground conditions may vary across the proposed building site, and may differ somewhat from those as described below.

The soil types on the site as revealed by bore holes 1 to 3 indicate the subsoils comprise 200 to 300 mm of topsoil. Beneath the topsoil, is a layer of firm grey mottled sands. The fine sand has a small content of silt well bound within the sand matrix. Beneath the silt layer at approximately 1.2 metres below ground level stiff saturated silts were found, which continue to a depth of at least 1.6 metres.

○ The water table was located at about 1.3 metres in all three bore holes on the day the tests were carried out (26/11/2002).

For foundations to be detailed in terms of NZS 3604 when SAND subsoils are tested with a Scala penetrometer minimum acceptable criteria are:

- 25 mm per blow or 4 blows per 100 mm for a depth below foundation level equal to the foundation width. Generally this depth would be 300 mm.
- 37 mm per blow or 8 blows average over 300 mm at greater depth.

The Scala penetrometer test results in the sandy material all achieved 3 or more blows per 100 mm which again verifies that this material can support a safe foundation bearing pressure of 100 kPa.

Scala penetrometer reading in silt subsoils are unreliable and the bearing pressure capacity of the soil can be best determined by shear vane readings. The undrained shear vane readings are recorded on the Bore Logs and range from 130-140 kPa. These values indicate that the silt subsoils will be adequate for a safe allowable bearing pressure of 100 kPa. (300 kPa. ultimate soil bearing pressure) which is required for dwellings to be constructed in accordance with NZS3604:1999 "Timber Framed Buildings".

COMPLIANCE WITH NZS 3604 FOUNDATION CONDITIONS

In reviewing the Scala penetrometer and shear vane results tabulated in the appendix, B.Hs. 1 to 3 on the site were found to have subsoil strength conditions in accordance with NZS 3604, Good Bearing Conditions. They met the definition of "good ground" in accordance with clause 3.1.3.1 of NZS 3604:1999.

RECOMMENDATIONS FOR HOUSE FOUNDATIONS

The proposed house foundations, i.e. concrete slab-on-grade floor may be detailed as per clause 7.5 of NZS3604:1999. The footing detail 1 as shown on G.J.Gardner Homes foundation plan for this house site meets these requirements..

Because of the probable high water table in the winter and the possibility of short term water ponding on the Lot, it is recommended that the floor slab for the house be raised 300 mm above the surrounding ground. This will require that the top soil be striped from the building site area plus 1.0 metre beyond the building line. Pit sand should then be brought in and compacted in 150mm layers to the underside of the floor slab. Each layer should be rolled and uniformly compacted with a 2 tone self propelled vibrating roller to achieve an allowable foundation bearing of 100 kPa.

On completion of the above standard foundations as detailed in NZS3604:1999 may be designed for the proposed house.

LIMITATION

Recommendations contained in this report are based on data from bore holes, soil exposures and test results. Inferences about the nature and continuity of subsoil away from those locations are made but not guaranteed.

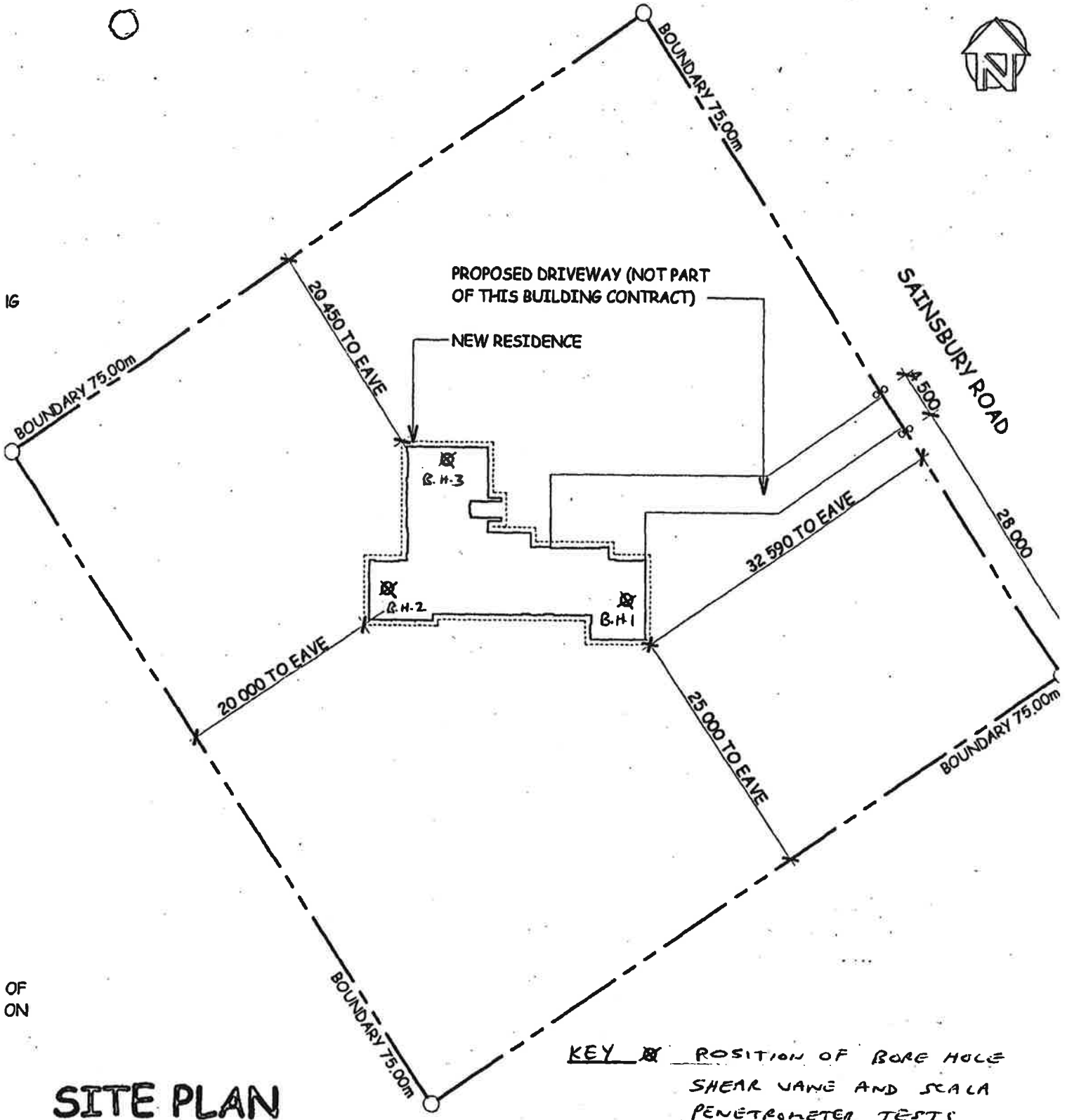
In all circumstances, if variations in the subsoil occur which differ from that described or assumed to exist the site should be inspected by an engineer to make an informed judgment and provide advice on appropriate improvement measures.

In my professional opinion, not to be construed as a guarantee, the proposed works give due regard to foundation stability.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'D.J. Oakley', written in a cursive style.

D.J. Oakley B.E. (civil).



16

OF
ON

SITE PLAN

KEY X POSITION OF BORE HOLE
 SHEAR VANE AND SCALA
 PENETROMETER TESTS

DESCRIPTION
 OT = 1
 DP = 91326
 EA = 5625m²
 GE = 5.61%

NOTE:
 ALL DRAINAGE IS DIAGRAMATIC ONLY
 ALL DRAINAGE IS TO COMPLY WITH
 NZS/AS 3500 2.2 REQUIREMENTS

	THE OF 20 PURCHASER: <i>[Signature]</i> BUILDER:	Client: KEITH AND DIANE BILLINGTON Project: NEW RESIDENCE ON SAINSBURY 43 ROAD	Date: 07 NOV 02 Scale: 1:200/1:500 Revisions:	Job No: Sheet: 1
	I. Gardiner Homes not be used or on			

OAKLEY CONSULTING ENGINEERS LTD

CLIENT: G.J. Gardner Homes	JOB No: 02-297
LOCATION: 43 SAINSBURY ROAD, PUKETAHA	BORE HOLE No: 1
PROJECT: HOUSE FOUNDATIONS	WATER LEVEL (m): 1.2 m
TESTED BY: D.J. Oakley	DATE: 26/11/02

DEPTH (m)	SCALAR PENETROMETER Blows/100mm					GRAPHIC LOG	SHEAR VANE STRENGTH (kPa)	(m)	DESCRIPTION
	1	3	5	7	9				
	2	4	6	8	10				TOP SOIL
									SAND: Fine grain, slightly silty, dense, grey with brown mottling
1									
1.2						X	130		SILT: stiff, grey, saturated
						X	135		
									END OF BORE
2									
3	4	10	15	21	27				
	2	7	12	17	24				

TEST: DETERMINATION OF THE PENETRATION RESISTANCE OF A
SOIL BY USE OF HAND OPERATED DYNAMIC CONE PENETROMETER

INFERRED CBR %

COMMENTS:

OAKLEY CONSULTING ENGINEERS LTD

CLIENT: G.J. Gardner Homes	JOB No: 02-297
LOCATION: 43 SAINSBURY ROAD, PUKETAHA	BORE HOLE No: 2
PROJECT: HOUSE FOUNDATIONS	WATER LEVEL (m): 1.3 m
TESTED BY: D.J. Oakley	DATE: 26/11/02

DEPTH (m)	SCALAR PENETROMETER Blows/100mm					GRAPHIC LOG	SHEAR VANE STRENGTH (kPa)	(m)	DESCRIPTION
	1	3	5	7	9				
	2	4	6	8	10				TOP SOIL
						()			SAND: Firm, grey with brown mottling, some silt content
1						. . .			
▽						. . .			
						X	140		SILT: stiff, grey saturated
						X			END OF BORE
2									
3									

TEST: DETERMINATION OF THE PENETRATION RESISTANCE OF A SOIL BY USE OF HAND OPERATED DYNAMIC CONE PENETROMETER

INFERRED CBR %

COMMENTS:

OAKLEY CONSULTING ENGINEERS LTD

CLIENT: G.J. Gardner Homes	JOB No: 02-297
LOCATION: 43 SAINSBURY ROAD, PUKETAHA	BORE HOLE No: 3
PROJECT: HOUSE FOUNDATIONS	WATER LEVEL (m): 1.4m
TESTED BY: D.J. Oakley	DATE: 26/11/02

DEPTH (m)	SCALAR PENETROMETER Blows/100mm						GRAPHIC LOG	SHEAR VANE STRENGTH (kPa)	(m)	DESCRIPTION
	1	3	5	7	9	10				
										TOP SOIL
1										SAND: Grey with brown mottling, firm, moist, small silt content
2							X X	140		SILT: Saturated, stiff, grey
										END OF BORE
3	4	10	15	21	27					TEST: DETERMINATION OF THE PENETRATION RESISTANCE OF A SOIL BY USE OF HAND OPERATED DYNAMIC CONE PENETROMETER
	2	7	12	17	24					INFERRED CBR %

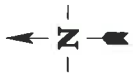
COMMENTS:



Utilities Plan

43 Sainsbury Road, Pukataha

Lot 1 DP 313908



SCALE 1:1781

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Projection: New Zealand Transverse Mercator Datum: New Zealand Geodetic Datum 2000

Print Date: 1/07/2016

A4

Water Supply

- Water Supply
- WS Pumpstation
- WS Valves
- AIR
- BUTTERFLY
- CHECKNON RETURN
- CLAYTON+PR
- FLUSHING Scour
- GATE or PEET
- SLUCE
- Other Valve
- WS Point
- Chamber
- Connection
- Dummy Node
- Meter
- Sampling Point
- Toby
- Water Treatment
- Fittings
- Flush Point
- Hydrant
- WS Line
- Mains 100
- Mains 200
- Mains 300
- Suction Duct Scour
- Aerial Main
- Service
- WS Plant

Waste Water

- Waste Water
- WW Point
- Flow Meter
- Flush Point
- Chamber
- Manhole
- WWTP Pond
- TP WW/ Pump Station
- Fittings
- WW Treatment Plant
- WW Valves
- Air Valve
- Check & Non Return Valve
- FLUSHING Scour
- Gate & Bypass Valve
- Sluice Valve
- Valve
- Valve - Butterfly
- Valve Chamber
- WW Pumpstation
- WW Line
- Gravity 100
- Gravity 200
- Gravity 300
- Rising Main 100
- Rising Main 200
- Rising Main 300
- Service
- Aerial main
- Other
- WW Plant

Storm Water

- Storm Water
- SwPoint
- Catchpit
- Inlet
- Manhole
- Valve
- Other
- Sw Plant
- Sw Pumpstation
- Sw Line
- Catchpit Lead
- Gravity Main upto 200
- Gravity Main upto 300
- Gravity Main > 300
- Service
- Other
- Rising Main
- Drainage Districts

UTILITIES

Introduction to the PLANNING MAPS

These planning maps are part of the Waikato District Plan. The maps are referred to in the text volumes.

Map layout

The maps are arranged to show zones and policy or other special controls. Important to note is the delineation between the Waikato Section and the Franklin Section as shown on Map i and Map ii. This delineation is necessary due to the different zones between the two sections and development controls such as policy and overlay areas. Various colours, shadings and lines on the maps represent these zones, policy areas and special controls. The maps also include information such as the alignment of the major electricity and gas transmission corridors and designations. See the map legend for details.

Zones

Except for roads in the Franklin Section all land in the Waikato District is in a zone. Land uses within each zone are expected to generate a compatible range of effects and provide a similar level of amenity.

Roads in the Waikato Section appear white in the maps, as the zone shading has been left off to assist map users with orientation. Although the roads are not shaded, they are in a zone, which is the zone of the land nearest to each point of the road. Where the zone is different on each side of the road, the boundary between the zones is the centre line of the road. Unformed roads are shown with zone shading.

Roads in the Franklin Section are not in a zone and appear white in the maps. This applies to both formed and unformed roads. For activities affecting roads in the Franklin Section refer to Part 15 or seek advice from the appropriate department within Council.

With the exception of the Waikato River and some of its tributaries within the Franklin Section, lakes and rivers appear with blue shading to assist map users with orientation. Although these rivers and lakes are not given any zone shading, they are in a zone, which is the zone of the land nearest to each point of the river or lake. Where the zone is different on each side of the river or lake, the boundary between the zones is the centre of the river or lake.

Activities on the surface of rivers, lakes and other water bodies are subject to the ordinary zone rules, for example the noise rules. A person wanting to build a structure in the water, such as jetty, would also have to observe the zone building standards (regional council consents may also be required).

Policy and Special Control Areas

These areas are mapped areas of the district where certain resource management issues are addressed in the plan, such as heritage, conservation areas, landscapes and ecological features. Some land in the district is not in any of these areas, while others may be affected by a number of these controls. If a site is in any of these areas various rules will apply to that particular activity. For example, the earthworks standards are stricter in a Landscape Policy Area.

Information items

Some of the notations on the maps are included for information and to assist orientation of map users, and may not be referred to in the text of the plan. These items include the Te Araroa National Walkway, the landfill site and the motorsport park at Hampton Downs, marae, urupa and various retirement homes. Identification of these sites on the planning maps does not change the legal or planning status of activities on the land.

Numbered sites

Some sites are shown on the maps with a number and symbol. These sites contain a Heritage Item, Maaori Site of Significance, Notable Tree, Outstanding Natural Feature or Designation. The rules that refer to these items are included in the rules for the zone that the site is in or the relevant chapter.

The numbers refer to the text in the plan: Appendices C and F and Chapter 30 of the Waikato Section, and Part 5, Part 8, Appendix Two and the Schedule of Designations of the Franklin Section. Refer to these sections to confirm the identity of the site and to find further information.

For designations in the Waikato Section, the letter before the number identifies the requiring authority that is responsible for the designation. For example, the letter J identifies all designations of New Zealand Transport Agency. See chapter 30 for more details.

For designations in the Franklin Section, numbers run in numerical order and do not identify the requiring authority that is responsible for the designation. See Schedule of Designations for more details.

Where land is designated, the legal rights and responsibilities of the requiring authority (e.g. New Zealand Transport Agency) and the landowner are set out in the Resource Management Act.

Hazards

Hazard areas shown on the planning maps are not exhaustive. Extensive areas of the district are subject to some flood, erosion, contaminated land or subsidence hazards, but not all these areas are shown on the planning maps. The Council does not have specific knowledge of all sites within the district. Applicants for resource consent will be required to identify relevant hazards in their locality.

Selected areas in the Living Zone of Hundy have been mapped as flood risk areas because of the particular risks in those areas and the availability of a Regional Council flood management plan. Note that the maps are at a scale of either 1:5,000 or 1:10,000; this means that precise detail for each property cannot be inferred from the maps. The maps are intended only to indicate general areas within which special enquiry about flood risks needs to be made. Within the mapped flood risk areas, there will be land that is not affected by the hazard. These areas can only be identified by a site-specific survey.

Legend

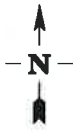
<p>Context</p> <ul style="list-style-type: none"> Plan Section Divide State Highway Rail Land Parcel Water Body Reserve 		<p>Infrastructure</p> <ul style="list-style-type: none"> Designation Gas Line Transmission Line Indicative Road Intent Important Indicative Road Intent Important Local A Indicative Road Intent Important Local B Indicative Road Location Important Indicative Road Location Important Service Lane Collector National Walkway Raglan Navigation Beacon Segregation Strip Walkway Cycleway Bridleway 		<p>Minerals/Mining</p> <ul style="list-style-type: none"> Aggregate Extraction Policy Area Aggregate Resource Policy Area Coal Mine Policy Area 	
<p>Building/Construction</p> <ul style="list-style-type: none"> Airport Inner Noise Control Boundary Airport Outer Noise Control Boundary Airport SEL 95 Noise Control Boundary Background Noise Area High Background Noise Area Noise Control Boundary Noise Boundary Distance (m) 		<p>Natural Environment</p> <ul style="list-style-type: none"> Coastal Marine Area Conservation Policy Area Ecological Corridor Environmental Enhancement Overlay Area Environmental Protection Policy Area Gully Area Hauraki Gulf Catchment Area Identified Significant Natural Feature Landscape Policy Area Management Area Proposed Esplanade Reserve Ridgeline Policy Area Schedule 5A Site of Special Wildlife Interest Threatened Species Serious Decline Threatened Species Gradual Decline Whaanga Coast Policy Area 		<p>Zones</p> <p>Commercial</p> <ul style="list-style-type: none"> Village Business (Franklin) Business (Waikato) Business (Franklin) <p>Open Space</p> <ul style="list-style-type: none"> Forest Conservation (Franklin) Queen's Redoubt Heritage (Franklin) Recreation (Franklin) Wetland Conservation (Franklin) Recreation (Waikato) <p>Industrial</p> <ul style="list-style-type: none"> Heavy Industrial (Waikato) Industrial 2 (Franklin) Industrial Services (Franklin) Light Industrial (Franklin) Industrial Park (Waikato) Light Industrial (Waikato) Industrial (Franklin) Maioiro Mining (Franklin) Aggregate Extraction (Franklin) Timber Processing (Franklin) <p>Cultural</p> <ul style="list-style-type: none"> Pa (Waikato) 	
<p>Commercial</p> <ul style="list-style-type: none"> Airport Obstacle Limitation Surface Area A and B (Pokeno) Area of Interest / Scheduled Area Business Centre Classification Housing Restriction Area Front Yard Control Line Main Frontage Control Line Mixed Use Policy Area Tamahere Commercial Area Town Centre Town Centre Overlay Area Verandah 		<p>Urban Environment</p> <ul style="list-style-type: none"> Amenity Planting Requirement Anticipated Dwelling Number Concept Plan Papakainga Policy Area Residential Large Lot Overlay Area Residential Medium Lot Overlay Area Structure Plan Boundary Urban Expansion Policy Area Village Growth Area 		<p>Residential</p> <ul style="list-style-type: none"> Living (Waikato) Residential 2 (Franklin) New Residential (Waikato) Living Zone Te Kauwhata Ecological (Waikato) Living Zone Te Kauwhata West (Waikato) Village (Franklin) Rural-Residential (Franklin) Country Living (Waikato) Coastal (Franklin) Coastal (Waikato) Rural (Franklin) Rural (Waikato) 	
<p>Hazard Policies</p> <ul style="list-style-type: none"> Catchment Management Plan Area 1% Design Flood Level Flood Limit Flood Risk Huntly East Mine Subsidence Huntly South Assessment I Land Stability Policy Area Remediation Policy Area River Stability Policy Area 		<p>Culture & Heritage</p> <ul style="list-style-type: none"> Battlefield View Shaft Heritage Area Heritage Item Notable Tree Schedule 8A Site of Significance Urupa Waikato River Catchment 		<p>Agriculture Production</p>	

Map Information

Copyright & Disclaimer - Cadastre boundaries sourced from Land Information New Zealand under CC-BY. Graphical representations of the District Plan rules have been derived from various sources; the representations are to the best of knowledge. Exact boundaries may require further investigation, please direct enquiries to the Planning and Strategy Team, districtplan@waikdc.govt.nz

Map Coordinates - the grid coordinates, provided as easting and northing values, measured in metres, use the New Zealand Transverse Mercator 2000 projection grid coordinates. Eastings are labelled on the top and bottom margins, their values increase towards the east. Northings are labelled on the lateral margin. Their values increase towards the north. For example, the value 5884321 is read as 5884 km and 321 m. 1:50 000 maps are marked at 4 km intervals, the area of a grid is 16 square km or 1600 hectares.

On the overview map the following town abbreviations have been used: Pokeno as Pok, Te Kauwhata as TeK, Huntly as Hun, Ngaruawahia as Nga and Raglan as Rag



Waikato District Plan

