

Your Ref

In reply please quote
LIM0482/16

If calling, please ask for
Florenda San Jose



Postal Address
Private Bag 544, Ngaruawahia 3742
New Zealand

0800 492 452
www.waikatodistrict.govt.nz

05 October 2015

S S Copeland
553 Tauwhare Road
RD 7
Hamilton 3287

Dear Sir/Madam

LAND INFORMATION MEMORANDUM

Please find enclosed your Land Information Memorandum for 553 Tauwhare Road TAUWHARE.

If you have any queries please do not hesitate to contact me.

Yours faithfully

A handwritten signature in blue ink, appearing to read "Florenda San Jose".

Florenda San Jose
Land Information Officer

Land Information

Memorandum

In reply please quote: LIM0482/16
If calling, please ask for: Florenda San Jose

LOCAL GOVERNMENT OFFICIAL INFORMATION AND MEETINGS ACT 1987

The information supplied in this Land Information Memorandum is based on existing Waikato District Council records that may not be complete. The property has not been inspected or surveyed by the Council. It is the purchaser's responsibility to check the boundaries of the property.

It is assumed that any purchaser will search the certificate of title that is not held by the Council and will personally inspect the property and its surrounds. This information deals solely with the property named below, and does not disclose any relevant information that may affect adjacent properties.

It is the sole responsibility of any purchaser to ensure that the land is suitable for a particular purpose.

► Property Details:

Valuation Reference:	04441/465.00
Legal Description:	LOT 1 DP 320761
Area:	6773 SQUARE METRES more or less
Property Location:	553 Tauwhare Road TAUWHARE
Owners:	<ul style="list-style-type: none">▪ Pamela Mary Copeland▪ Scott Selwyn Copeland

► Property Location:



Information regarding –
 44A(2)
 (c) information relating to any rates owing in relation to the land

► Rates & Rating Valuation:		Information regarding – 44A(2)(c) information relating to any rates owing in relation to the land
Annual rates for 2015/2016	\$ 2,199.74	Balance Owing: \$ 887.00 <i>(Balance of 2nd instalment due 26 January 2016)</i>
Value of Improvements	\$ 360,000	
Land Value	\$ 300,000	
Capital Value	\$ 660,000	
Date of Valuation	1 July 2014	

Valuation

Properties in the Waikato District are re-valued every three years in accordance with the Rating and Valuations Act 1988.

Rates and 2011 and 2014 valuations can be viewed online using the Rating Information Database (RID) available on the Waikato District Council website at www.waikatodc.govt.nz

Current Rates

A copy of the current 2015/2016 rates assessment is attached. The 2015/2016 rates are based on the new valuations dated 1 July 2014 which are shown in the table above.

If you have a question about the rates, please contact the Rates team on rates@waidc.govt.nz.

Information regarding –

44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use:
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose:
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

Under the Waikato District Plan the property is within the

- Rural Zone
- Airport Obstacle Limitation Surface
- Waikato River Catchment

Please refer to the Waikato District Plan or speak to a duty planner regarding specific requirements for development on properties within these areas.

The Waikato District Plan is Operative in Part as of 16 July 2011. Remaining appeals to be resolved are either location specific or topic specific. Plan provisions not yet operative are listed in a schedule in the District Plan.

For any restrictions of the use of the property please refer to the Certificate of Title.

► **Resource Consents:**

Application No	Description	Decision
70 03 083	SUBDIVISION CONSENT - To create two additional lots	GRANTED 17 January 2003

Requisitions: No known planning requisitions to date.

Planning rules relating to this property are contained in the Waikato District Plan and are not outlined in this LIM report. The Waikato District Plan is available to view on Council's website at www.waikatodc.govt.nz.

■ Building

Information regarding –

44A(2)

- (d) information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act):
- (e) information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004:
- (ea) information notified to the territorial authority under section 124 of the Weathertight Homes Resolution Services Act 2006:

It is recommended that a potential purchaser engage a building consultant to complete a pre-purchase inspection of buildings. Irrespective of code of compliance, structures are subject to deterioration over time and works may have been undertaken without building consent. If requested and supplied, a copy of this may be filed on council records for future references and Land Information Memoranda.

Architects and designers require wind & earthquake information to establish bracing requirements for building development.

► Building Consents/Permits:

Number	Description	Consent/Permit issued date	CCC Issued/ Completed Date
SPR02169	Swimming pool	Complies	
A25858	Dwelling	23 June 1982	7 February 1983
C028277	Swimming pool	18 February 1985	*
G069369	Garage	28 September 1989	15 May 1990
95913	Dwelling addition (Kitchen)	25 September 2002	30 March 2006

Requisitions: No known building requisitions to date.

*** No completed date recorded on historic County records.**

Please note that prior to the introduction of the Building Act 1991, there were no legal obligations requiring a code compliance certificate to be issued.

Swimming Pool/Spa Pool Fencing

The swimming pool fence was last inspected on **3 February 2010** on the date of inspection the fence complied with the Fencing of Swimming Pools Act 1987.

Over time it is possible that changes to the garden and and/or pool surrounds may compromise the compliance of the pool fence. Please note that it is the responsibility of the pool owner to ensure that fences continue to comply and, in particular, that gates, springs and latches are maintained to ensure that they remain in good working order.

The Council will continue to periodically inspect all pool fences in the district to check that compliance with the Act is being maintained.

■ Water Supply

Information regarding –

44A(2)

- (ba) any information that has been notified to the territorial authority by a drinking-water supplier under section 69ZH of the Health Act 1956:
 - (bb) information on—
 - (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier:
 - (ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply:
 - (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply:
-

The property is not currently connected to the community water supply administered by Waikato District Council.

Connection to the Southern Districts water supply is available, relevant development contributions and connection fees will be payable upon development; for further information please contact an Operations Technician at the Waikato District Council on (07) 824-8633.

A targeted rate for water supply will be added to the rates account upon development.

■ Drinking Water (potable water supply)

The property is not connected to a community water supply. It is the property owner's responsibility to ensure suitable drinking water is supplied on-site.

The construction of a bore for the taking of ground water requires consent from the Waikato Regional Council, for further information contact Waikato Regional Council.

Information regarding –
44A(2)

(b) information on private and public stormwater and sewerage drains as shown in the territorial authority's records:

■ Wastewater

The property is located outside an area currently served by a community system for wastewater disposal.

There are no records as to the size or location of an existing on-site wastewater disposal system. Wastewater Disposal Systems are sized in relation to the number of bedrooms of a dwelling and the potential occupancy. Assessment of the existing system will be required for future building works that includes additional bedrooms.

The system must be adequately designed to treat and dispose of potential increased loadings. If upgrades are required, these must be designed, supervised and certified by an engineer or other suitably qualified person to comply with AS/NZS 1547:2012 and the Waikato Regional Plan. It is recommended that potential purchasers engage a contractor to inspect the septic tank and prior to settlement.

The Waikato District Council does not maintain or monitor private wastewater disposal systems and NZ standards indicate a septic tank should be cleaned/ emptied every 3 years

■ Stormwater

Land drainage disposal is served by Matangi Rural Drainage District, administered by Waikato District Council. For further information please contact the Council's Community Assets Operations Manager.

Stormwater disposal shall comply with the NZ Building Code (clause E1 Surface water) and the Waikato District Plan (Appendix B: B5 Stormwater).

New stormwater disposal systems must be designed to manage / attenuate a storm event having a 10% probability of occurring annually.

The design of the system is to be prepared by an engineer or suitably qualified person.

■ Natural Hazards

Information regarding –

44A(2)

- (a) information identifying each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants, being a feature or characteristic that—
 - (i) is known to the territorial authority; but
 - (ii) is not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991;

Unconsolidated sediments or non-cohesive soils have been identified on parts of the land on Council maps at an approximate scale of 1:50,000. Unconsolidated sediments are prone to erosion especially near an existing gully. Geotechnical appraisal of site and development, and appropriate specific design for foundations and on-site effluent treatment may be required.

A geotechnical engineer may be required to investigate ground or sub-soil conditions to establish any specific requirements for building development.

Under section 71-74 of the Building Act 2004, upon application for a building consent applicants must demonstrate that any proposed building work will be protected from hazards.

■ Additional Information

Information regarding –

44A(3) In addition to the information provided for under subsection (2), a territorial authority may provide in the memorandum such other information concerning the land as the authority considers, at its discretion, to be relevant.

■ Health

There are no outstanding Notices or Orders under the Health Act 1956 and related legislation in respect of the property.

■ Refuse

The property is on a refuse collection route; the collection day for domestic rubbish **Thursday** weekly.

■ Utilities

The Waikato District Council does not hold records concerning utility systems it does not administer. For information concerning state highways (administered by NZ Transport Agency), electricity, telephone or gas, the relevant network operator should be contacted.

Yours faithfully



Florenda San Jose
Land Information Officer

Scott Selwyn Copeland &
 Pamela Mary Copeland

Property Number 2007221
Rateable Value \$660,000

For queries relating to this rates assessment please quote the property number shown above when calling.

L004341

Property details for this rate assessment are as follows:

Valuation Roll No	04441/465.00	Property Location	553 Tauwhare Road TAUWHARE		
Capital Value	\$660,000	Improvement Value	\$360,000	Land Value	\$300,000
				Area	0.677300 ha
Legal Description	LOT 1 DP 320761 BLK IV HAMILTON SD				

L004341

PLEASE NOTE: THIS IS NOT AN ACCOUNT FOR PAYMENT - YOU WILL BE INVOICED SEPARATELY.

Description of Rate	Matters for differentiation and Targeted Rate funding	Targeted Rate Factor	Factor Applicable	Charge per Factor	Amount
General Rate		rateable value	660,000	0.0028216	\$1,532.26
Uniform Annual General Charge (UAGC)		fixed charge	1	\$430.12	\$430.12
District Refuse	collection service available	per EUIP*	1	\$213.36	\$213.36
Matangi Community Centre	residential and within Matangi Community Centre area	per SUIP*	1	\$24.00	\$24.00
Total rates assessed					\$2,199.74
Total rates remitted					\$0.00
Total rates payable					\$2,199.74
Rates balance as at 30 June 2015					\$(0.04)
Balance of year's rates to be paid					\$2,199.70

(All figures include GST)

Notes

- ¹ Capital Value includes land and improvements
- ² Differential categories are further defined in the funding impact statement adopted as part of the Long Term Plan
- * SUIP - Separately Used or Inhabited Part of a property or building

Functions funded by rates

General rate

The general rate funds a portion of the democracy, community services, infrastructural and regulatory functions that are shown on the table below.

Uniform annual general charge (UAGC)

The uniform annual general charge funds a portion of the democracy, community services and regulatory functions that are people related and are shown on the table below.

Community facility targeted rate

The community facility rate funds the maintenance and operation of halls and community centres within defined rating areas.

Capital works contributions

The capital works contribution has been set for the purpose of covering the capital cost and interest charges of works not met by lump sum contributions for the projects.

Water targeted rate

The water rate funds the supply of water to properties that receive, or are capable of receiving a water supply.

Wastewater targeted rate

The wastewater rate funds sewage disposal for properties that are connected or able to be connected to the wastewater network.

Urban stormwater targeted rate

The urban stormwater rate funds the collection and disposal of stormwater within defined rating areas.

Refuse targeted rate

The refuse collection rate funds the costs of household refuse collection, recycling and disposal within defined rating areas.

Further information on the rationale for funding these functions in this way can be found in the Waikato District Council's Revenue and Financing Policy, copies of which can be obtained from any Waikato District Council Office.

Breakdown of General Rate and Uniform Annual General Charge (UAGC) Applicable to This Rating Unit		
	General Rate \$	UAGC \$
Animal Control	\$24.82	\$14.24
Area Offices and Other Properties	\$127.48	\$73.34
Community and Safety	\$4.29	\$2.49
Corporate and Council Leadership	\$139.13	\$80.05
Environmental Health	\$25.59	\$14.71
Grants and Donations / Community Liaison	\$24.52	\$14.15
Libraries	\$47.65	\$27.40
Parks and Reserves	\$240.26	\$138.15
Resource Management	\$113.85	\$65.59
Roading	\$752.19	\$0.00
Solid Waste Management	\$14.86	\$0.00
Stormwater	\$2.45	\$0.00
Wastewater	\$7.97	\$0.00
Water Supply	\$7.20	\$0.00
	\$1,532.26	\$430.12

The supply of water, collection/treatment of wastewater and draining of stormwater are all essential services for the community's ongoing health and well-being, and contribute to the Healthy and Sustainable Community Outcomes. Expenditure from general rates and uniform annual general charges is for scoping new projects, asset management planning, developing policies and to contra the rates levied on these assets.

Rate Tax Invoice/Credit Note/Statement

GST No. 52-054-982



Scott Selwyn Copeland &
Pamela Mary Copeland

Invoice Date 01 August 2015
Due Date 23 September 2015
Instalment No One

Property Number 2007221
Capital Value* \$660,000
Improvement Value \$360,000
Land Value \$300,000
Area 0.677300 ha

* The effective date of the Capital values for rating purposes is from 01 July 2015.

*M0043410

Valuation Roll No 04441/465.00	Property Location 553 Tauwhare Road TAUWHARE
Legal Description LOT 1 DP 320761 BLK IV HAMILTON SD	

M00434102

Rates are levied on an annual basis and may be paid in three instalments as scheduled below:

Instalment	Invoice Date	Due Date	Instalment Amount
One	01 August 2015	23 September 2015	\$733.17
Two	01 December 2015	23 January 2016	\$733.17
Three	01 April 2016	23 May 2016	\$733.39

Total rates payable for the financial year 01 July 2015 - 30 June 2016 are \$2,199.74 (see rates assessment for details).

Tax Invoice

Charges this period	\$733.17
Penalties incurred	\$0.00
Remissions/penalty remissions	\$0.00
Adjustments	\$0.00
Total charges this period	\$733.17
Includes GST of	\$95.63

Statement of Account

Balance as at 01 July 2015	\$(0.04)
Previous charges this financial year	\$0.00
Charges this period	\$733.17
Penalties incurred	\$0.00
Remissions/penalty remissions	\$0.00
Adjustments	\$0.00
Payments received	\$(168.12)
Amount due by due date	\$565.01

Please Note: Payments received after 17 July 2015 are not included in this invoice

Amount required to clear account to the end of the rating year is \$2,031.58
NO PAYMENT IS REQUIRED AS YOU HAVE CHOSEN TO PAY BY DIRECT DEBIT



**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



R. W. Muir
Registrar-General
of Land

Search Copy

Identifier 82386
Land Registration District South Auckland
Date Issued 09 January 2004

Prior References

SA14D/612

Estate Fee Simple
Area 6773 square metres more or less
Legal Description Lot 1 Deposited Plan 320761

Proprietors

Scott Selwyn Copeland and Pamela Mary Herbert

Interests

Land Covenant in Transfer H275542.2 - 28.2.1980 at 2.24 pm
8420428.3 Mortgage to ASB Bank Limited - 30.3.2010 at 9:18 am

APPROVAL *Right of Way of Access*

APPROVED BY: *[Signature]*

DATE: *10/15/2015*

PROJECT: *Access to Lot 1-3*

PROPOSED BY: *[Signature]*

DATE: *10/15/2015*

PROJECT: *Access to Lot 1-3*

APPROVED BY: *[Signature]*

DATE: *10/15/2015*

PROJECT: *Access to Lot 1-3*

1	82386
2	81887
3	87988

APPROVED BY: *[Signature]*

DATE: *10/15/2015*

PROJECT: *Access to Lot 1-3*

DIAGRAM
NOT TO SCALE

APPROVED BY: *[Signature]*

DATE: *10/15/2015*

PROJECT: *Access to Lot 1-3*

LAND DISTRICT: *South Mountain*

Survey No. *10000*

Block No. *10000*

Sheet No. *10000*

TERRITORIAL AUTHORITY: *Superior Electric*

Surveyed by: *[Signature]*

Scale: *1" = 1000'*

Date: *10/15/2015*

In reply please quote:
70 03 083

If calling, please ask for:
Sonya Heenan

17 January 2003

K S Collier
Hollinger Collier
P O Box 1112
HAMILTON

Dear Mr Collier

**APPLICATION FOR RESOURCE CONSENT: P L & K M MCKENZIE AND K F ARDEN-
553 TAUWHARE RAOD, MATANGI**

You are advised of the following decision on your application, which has been made pursuant to a delegated authority by the Environmental Consents Manager.

“That pursuant to sections, 105(1)(b), 105(1)(c), 108 and 220 of the Resource Management Act 1991 the Waikato District Council grants subdivision consent for a restricted discretionary activity under proposed Plan Change Seven to the Waikato District Plan and a non-complying activity under the Waikato District Plan to undertake a subdivision to create two additional lots on a site legally described as Lot 1 8 DPS 16063 as comprised in Certificate of Title 14D/612, South Auckland Land Registry, subject to the following conditions:

GENERAL

- 1 The Land Transfer plan to give effect to this Resource Consent shall be generally consistent with the approved plan number reference ‘P L and K M McKenzie and K F Arden’ prepared by Hollinger Collier submitted with application 70 03 083 and received by Council on 14 October 2002. A copy of the approved plan is attached.

FINANCIAL CONTRIBUTIONS

2 Rooding

Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution for rooding of \$4,377.00 (Four Thousand Three Hundred and Seventy-Seven Dollars), inclusive of GST, shall be paid to the Council for the additional Rural Lots. This is based on a Rooding Contribution of \$4,377.00 (Four Thousand Three Hundred and Seventy-Seven Dollars), inclusive of GST, for Lot 2.

3 Reserves Contribution

Pursuant to section 108(2)(a) of the Resource Management Act 1991, a reserve contribution of \$1,1250.00 (One Thousand One Hundred and Twenty-Five Dollars), inclusive of GST, shall be paid to the Council in lieu of vesting land for Lot 2.

4 Land Drainage

Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution for land drainage under the Matangi drainage district of \$335.00 (Three Hundred and Thirty Five Dollars) inclusive of GST shall be paid to Council prior to the issue of the section 224(c) certificate by Council.

ARCHAEOLOGICAL

- 5 The consent holder shall ensure that, should any human remains or archaeological items be exposed while undertaking works to give effect to conditions of this consent, works in that area will cease immediately. The Police, New Zealand Historic Places Trust, and Kaumatua representing the local Tangata Whenua shall be contacted and work shall not recommence in the affected area until any necessary statutory authorisations or consents have been obtained.

ROADING

- 6 The existing entrance to Lot 1 located at Rural Address Property Identification Designation number 553 Tauwhare Road shall be upgraded to a sealed standard residential vehicle entrance and constructed in accordance with Waikato District Council plan TSG-E3 to the satisfaction of Council.
- 7 The existing culvert under the entrance is to be replaced with 300 millimetre concrete class X pipes as per the specification detailed on Waikato District Council plan TSG-E3.
- 8 The existing entrance to Lot 3 shall be upgraded to a sealed standard residential vehicle entrance located as indicated on the approved plan and constructed in accordance with Waikato District Council plan TSG-E3 to the satisfaction of Council.
- 9 Lot 2 shall be provided with a sealed standard residential vehicle entrance located no closer than 15 metres to the centre of the culvert pipe crossing under Tauwhare Road to the immediate east and constructed in accordance with Waikato District Council plan TSG-E3 to the satisfaction of Council.
- 10 The surface of the sealed entrances, shall be two coat chip seal, constructed with 180/200 grade bitumen and G3 and G5 chip. The seal shall extend not less than 5 metres from the edge of the existing seal, or to the property boundary if that is more than 5 metres.

UTILITIES

- 11 The effluent field for the existing dwelling located on Lot 1 shall be located and if necessary relocated to ensure that the effluent disposal system is located at least 1.5 metres within the boundaries of Lot 1. To confirm compliance with this condition a plan to a scale acceptable to Council locating the position of the effluent field for the dwelling located on Lot 1 shall be provided prior to the section 223 certificate being signed by Council.

Advisory Note:

If the effluent field is required to be relocated to comply with the above condition a building consent must be obtained from the Council prior to relocation.

The open drain running through Lot 3 serving Lot 1 shall be vested in the Matangi Drainage Area upon completion of the following requirements to the satisfaction of Council:

- i) Assessment of the catchment area utilising this drain.
- ii) Assessment of any crossings within the drain to ensure they are adequate.
- iii) The drain shall be cleaned and the long grass cut.
- iv) Any works required to ensure the drain is adequate such as increasing the size of the drain or upgrading any crossings within the drain shall be undertaken at the expense

Advisory Notes:

- 1 When Building Consents are applied for the following matters will need to be addressed in any applications:
 - i) For some building sites a Registered Engineer may be required to confirm that ground conditions are suitable for building.
 - ii) For some sites a Registered Engineer may be required to design a suitable effluent disposal system.
- 2 The Waikato District Council's Area Engineer is to be contacted a minimum of two weeks prior to any works being carried out in the road reserve

The reasons for this decision are:

- a) The subdivision satisfies the Standards and Terms of 9S.2.4 of proposed Plan Change 7. The provisions of proposed Plan Change 7 have been given effect to under the provisions of section 19 of the Resource Management Act 1991 when assessing this application and little weight has been given to the rural subdivision provisions of the Waikato District Plan when determining this application.
- b) This application was processed as a non-notified application under the provisions of Rule 9S.2.4. of proposed Plan Change 7 and was considered without the need to obtain the written approval of affected parties.
- c) A reserve contribution is required for each lot created by subdivision upon which a dwellinghouse or dwellinghouses are authorised by this District Plan. The subdivision will result in the provision for two additional titles being created upon which a dwellinghouse could be constructed one of which has an area less than 1.6 hectares for which a reserve contribution can be required.
- d) A financial contribution for roading has been included as a condition of the consent in accordance with the provisions of section 42 of the Waikato District Plan. The purpose of the financial contribution is to mitigate the effects of the increased development generated by this subdivision on Council's existing roading infrastructure.
- e) The application has been assessed as a restricted-discretionary activity under the provisions of section 36 Land Transport due to minimum separation distances. However, Council's Area Engineer is satisfied with the proposal subject to the appropriate conditions.

That pursuant to sections 34(4), 105(1)(b) and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants land use consent for a discretionary activity for the existing barn on Lot 3 to encroach into the required 25 metre side yard requirement on the western boundary under the provisions of Plan Change 7 and for the existing stables on Lot 3 to encroach into the required 25 metre side yard requirement on the eastern and western side boundaries under the provisions of Plan Change 7 and to encroach into the 5 metre setback under the provision of the Waikato District Plan on a site legally described as Lot Lot 8 DPS 16063 being the land comprised within Certificate of Title 14D/612, South Auckland Land Registry, subject to the following conditions:

- 1 The plan to give effect to this Resource Consent shall be generally consistent with the approved plan number reference 'P L and K M McKenzie and K F Arden' prepared by Hollinger Collier submitted with application 70 03 083 and received by Council on 14 October 2002. A copy of the approved plan is attached
- 2 Pursuant to section 36 of the Resource Management Act 1991 the consent holder shall pay the actual and reasonable costs incurred by the Council when monitoring the conditions of this consent.

The reasons for this decision are:

- a The side yard encroachment will not have an adverse effect on the visual, daylight or sunlight amenity values of the abutting properties as both accessory buildings are existing and cannot be used for habitable purposes."

A Lapsing of Consents

Your attention is drawn to section 125 of the Resource Management Act 1991. A summary of that section is that subject to sections 357 and 358 a resource consent lapses on the expiry of two years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- (a) The consent is given effect to, before the end of that period:
- or
- (b) An application is made to Council up to three months after the expiry of that period which meets the criteria specified in section 125.

B Compliance with Conditions

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C Changes to Conditions

Your attention is drawn to section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of section 127 can be met.

L Review of Decision on non-notified application

Your attention is drawn to section 357(2) of the Resource Management Act 1991. This section provides that there is a right of objection to Council in respect of this decision. Section 357(5) requires:

Any such objection shall be made by notice in writing to the Council, setting out the reasons for the objection, within 15 working days after the decision or requirement being notified to that person, or within such further time as may in any case be allowed by the consent of the Council.

E Right of Appeal

Your attention is drawn to the Resource Management Act 1991 sections 120 and 121 and also Resource Management Regulations 1991/170 Clause 10 and Part VI. Some key provisions to note are as follows:-

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Environment Court and with the Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Environment Court is as follows:-

The Registrar
Environment Court
P O Box 5027
Wellington

- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully



Shelley Wood
ENVIRONMENTAL ADMINISTRATION



LOT 5
DPS 16063

APPROVED PLAN

John
15/11/03

Existing drainage easement
Created by T.222873

PT LOT 5
DP 9623

3
2.7250 ha

LOT 8
DPS 16063
CT 140/612

LOT 7
DPS 16063

LOT 1
6780 m²

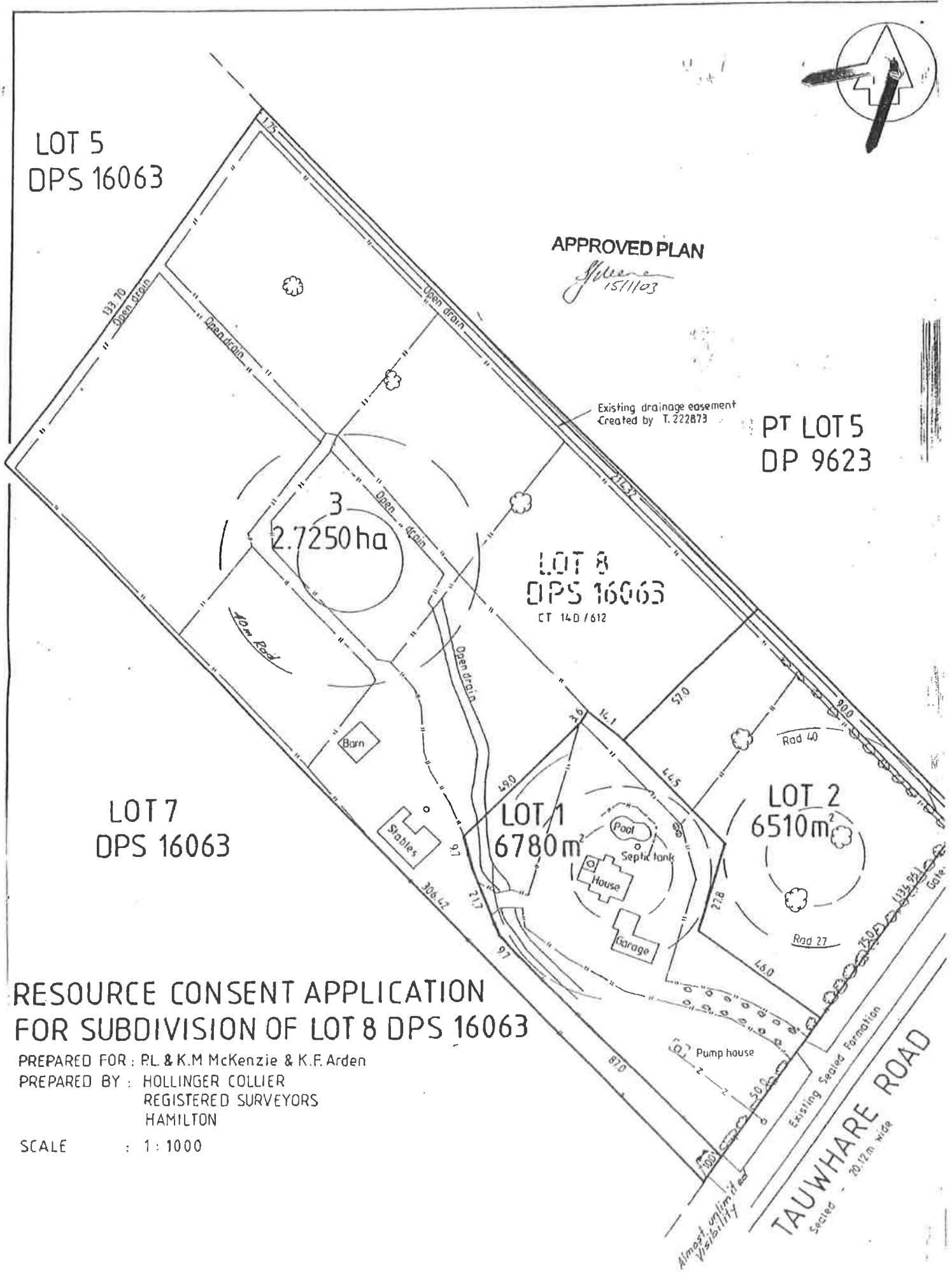
LOT 2
6510 m²

RESOURCE CONSENT APPLICATION FOR SUBDIVISION OF LOT 8 DPS 16063

PREPARED FOR : PL. & K.M McKenzie & K.F.Arden

PREPARED BY : HOLLINGER COLLIER
REGISTERED SURVEYORS
HAMILTON

SCALE : 1 : 1000



TAUWHARE ROAD
Sealed - 20.12m wide

Almost unlimited
visibility

Existing Sealing Formation

You if

In reply please quote
SPR02169 ; 04441/465.00

If calling, please ask for
Peter Martens

03 February 2010

P L McKenzie, J K McKenzie, K F Ardern
553 Tauwhare Road
RD 7
Hamilton 3287

F1' 5

Dear Sir/Madam

FENCING OF SWIMMING POOL ACT 1987

An inspection carried out on 26 January 2010 has revealed that your pool has been fenced to comply with the Fencing of Swimming Pool Act 1987.

Over time it is possible that changes to your garden and and/or pool surrounds may compromise the compliance of your pool fence. Please note that it is the responsibility of the pool owner to ensure that fences continue to comply and, in particular, that gates, springs and latches are maintained to ensure that they remain in good working order.

The Council will continue to periodically inspect all pool fences in the district to check that compliance with the Act is being maintained.

Yours faithfully



Peter Martens
BUILDING INSPECTOR

Inspector: M

Receipt No.

6769

OWNER

Name J. A. LAWSON

Address BOX 522
CAMBRIDGE

BUILDER

Name V. FAIRWEATHER

Mailing Address HERBERT ROAD
TAMAHERE

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name MATANGI-MORRINSVILLE ROAD
Tamahere Rd.

Town/District MATANGI

Riding TAMAHERE

LEGAL DESCRIPTION

Valuation Roll No. 444/33/8

Lot 8 D.P. S 16063

Section _____ Block IV

Survey District HAMILTON

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

DWELLING

Date Inspected	REMARKS (e.g. stage reached with work)
25.6.82	Footings inspection by Tony. O.K. subject to raising floor level by 200mm.
2.7.82	Foundations & conc. floors poured. Framing on site
13.8.82	Framing erected. Roof framing completed & roof being fixed. Garage erected.
14.8.82	Now closed in. Most of exterior work completed. Wall & roof linings installed as per plan. OK to proceed with linings. Garage completed.
4.10.82	Interior linings well advanced. Finishing work in progress.
1.11.82	Work progressing. Nearing completion.
18.11.82	Interior decorating in progress.
17.1.83	No one home
7.2.83	Completed & occupied. Final Inspection

[Signature]

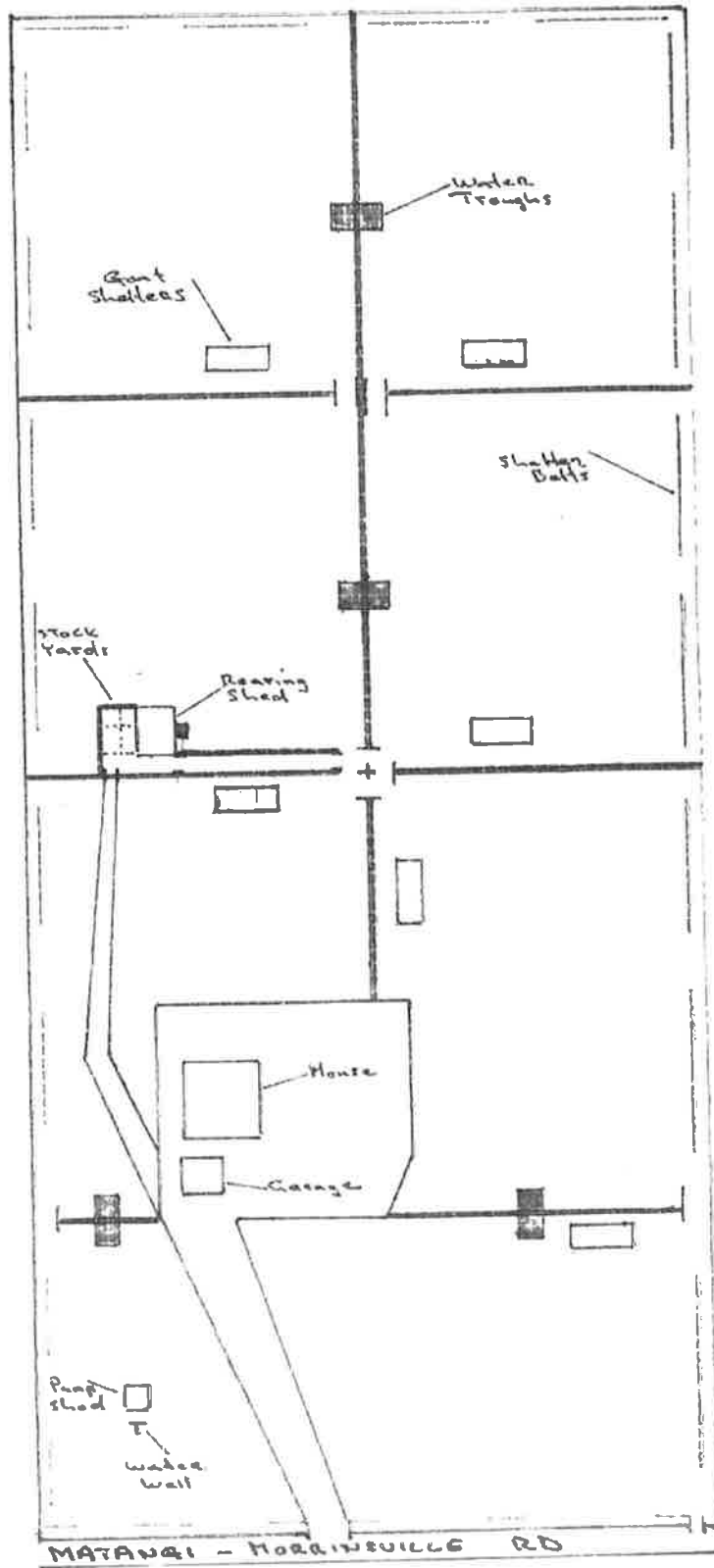
Date

1/1

THIS BUILDING IS NOW APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:-

CONDITIONS

- 1/ In accordance with NZSS 1900 Chapter 2, Clause 2.1 and 2.1.2., no work shall commence before the permit is received.
- 2/ Please note that the plumbing and drainage permits will not be issued until the respective tradesmen make application.
- 3/ The following four inspections are to be called for - Foundation, Framing, pre-lining and insulation.



Bruce McHovea

Inspector: M

File No.

18 FEB 1985

Date Permit Issued **18 / 2 / 85**

Permit No. **9332**

OWNER

Name **P.L. Lawson, (Cross Country & ginstment Opp Behar.)**

Mailing Address **Tauwhare Road, R.D. 4, Hamilton.**

BUILDER

Name **Cambridge Pool Centre,**

Mailing Address **P.O. Box 504, Cambridge Ph. 7015 CB**

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. **Tauwhare Road**

Street Name _____

Town/District _____

Riding **Tamahere**

LEGAL DESCRIPTION

Valuation Roll No. **444/33/8**

Lot **8** D.P. **S 16063**

Section _____ Block **IV**

Survey District **Hamilton**

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Private Swimming Pool

FLOOR AREA Whole Sq. Metres **DWELLING UNITS** Number Erected

ESTIMATED VALUES \$	Building	7000.00
	Plumbing	
	Drainage	
	TOTAL	7000.00

NATURE OF PERMIT (TICK BOX)

NEW BUILDING - exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED - include conversions and resited buildings

NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEE'S APPLICABLE

Building Permit	\$	40.00	Water Connection	\$	
Street Damage Deposit	\$		Vehicle Crossing Levy	\$	
Building Research Levy	\$		M.S. Plumbing	\$	
Plumbing	\$			\$	
Drainage	\$			\$	
Sewer Connection	\$		TOTAL:	\$	40.00

Receipt No. **9332**

Date of Payment **18 / 2 / 85**

Authorised Officer *[Signature]*

Special Conditions:

- All drainage which would otherwise be built over must be relocated.
- Inspection of excavated ground required prior to placement of pool.

Date Inspected

REMARKS (e.g. stage reached with work)

19-3-85

Council not given the opportunity to inspect pond. Pool completed.

next time this happens we will require
an engineer to certify the completed structure

THIS BUILDING IS NOW APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:-

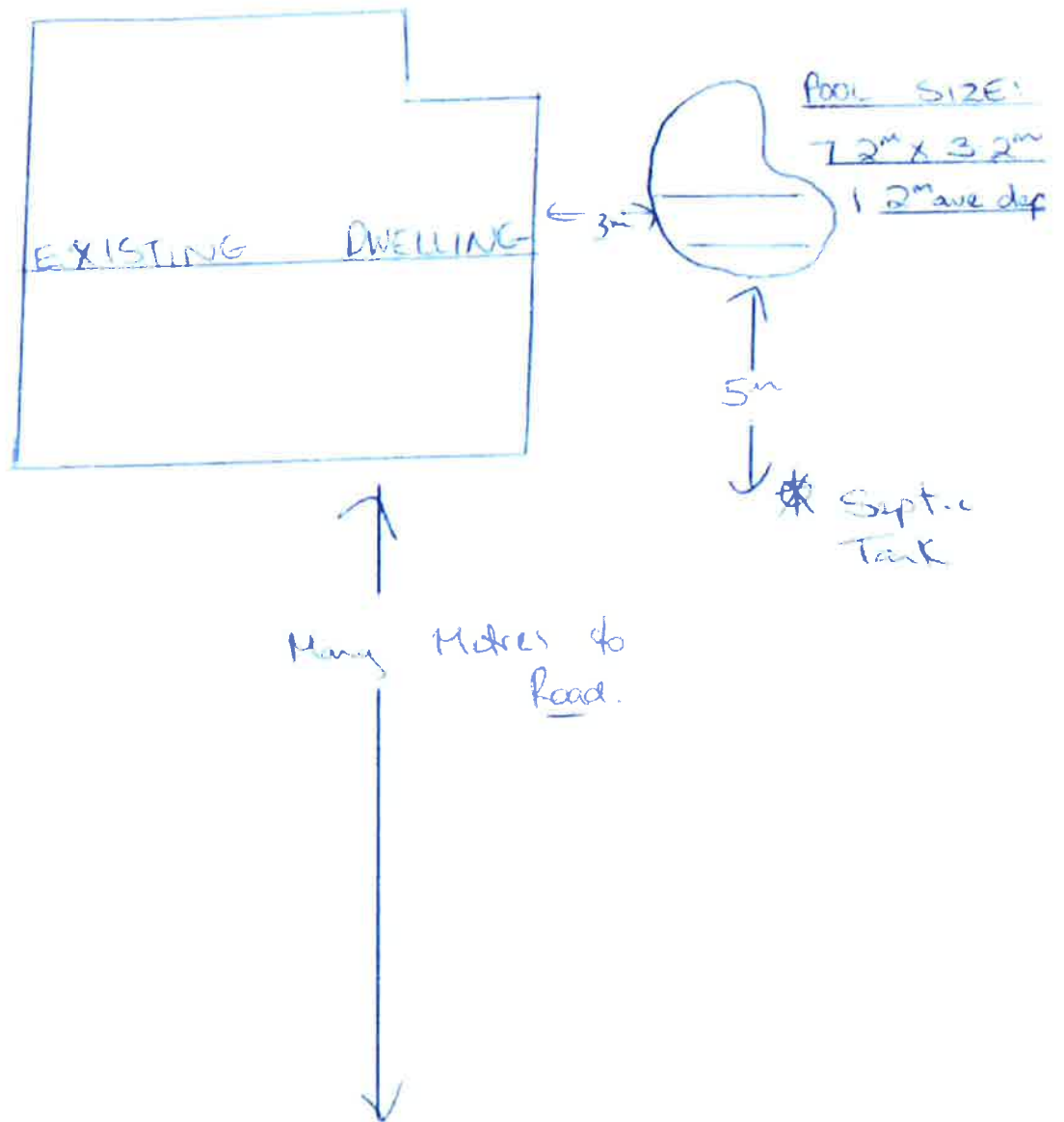
ALL DRAINAGE WHICH WOULD
OTHERWISE BE BUILT OVER
MUST BE RELOCATED.

Conditions

- ① Inspection of excavated ground required
prior to placement of pool.

P. L. LAWSON TAWHARE ROAD R.D. 4. HAMILTON

RECEIVED
29. JAN. 1985
WATERWORKS DEPT.
C.O.P. 1011



TRADE MARK

FIBREGLASS SWIMMING POOLS

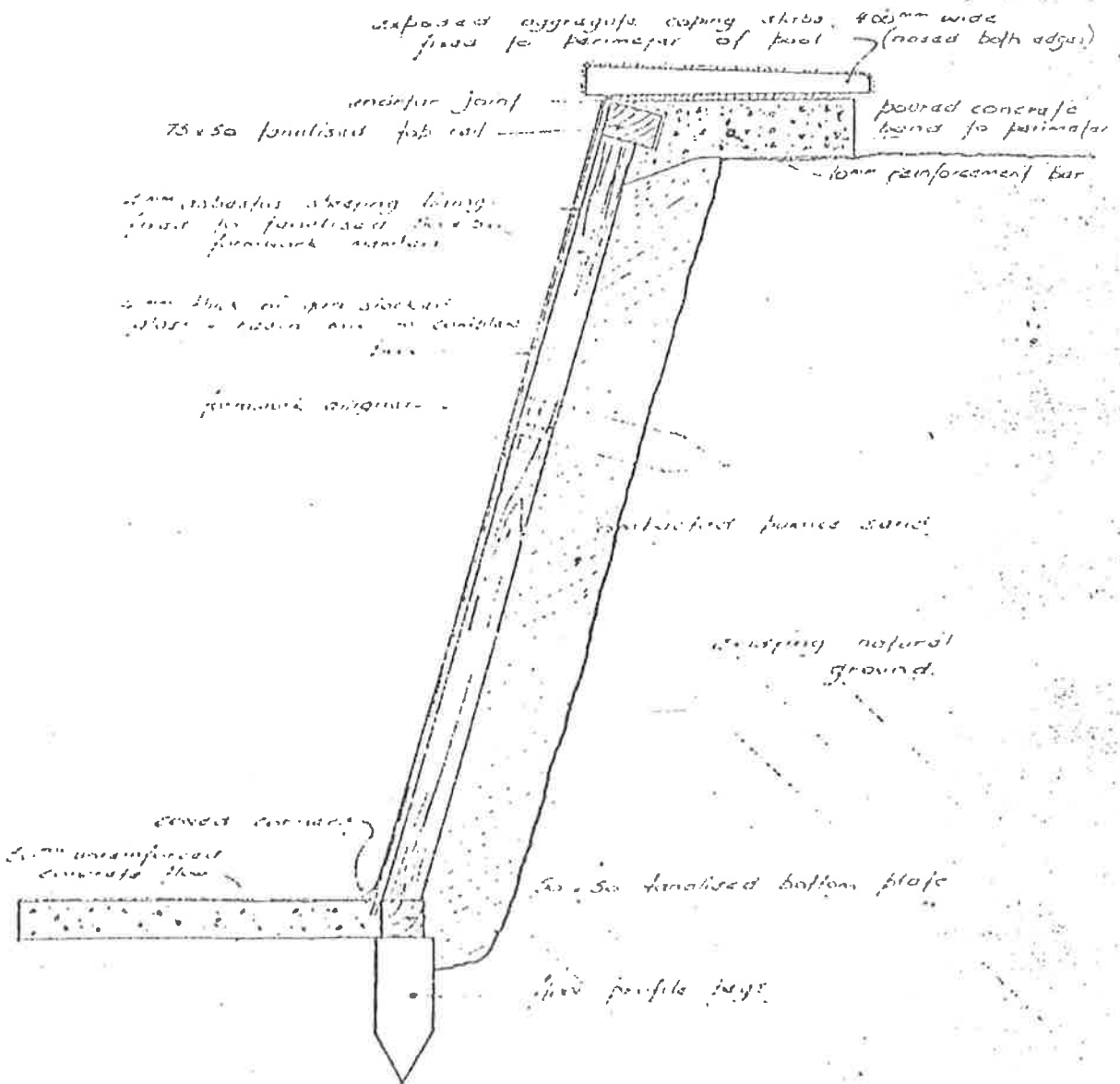
Throughout The South Pacific

N.Z. Patent 172025.

Aust. Patent 486-412

TYPICAL CROSS-SECTION THRU 'MAYFAIR' SYSTEM

CONSTRUCTED IN ACCORDANCE WITH ENGINEERS CALCULATIONS



Mayfair

FIBREGLASS SWIMMING POOLS

Throughout The South Pacific

K. & C. ATKINS

GLASS FIBRE REINFORCED PLASTIC SWIMMING POOL

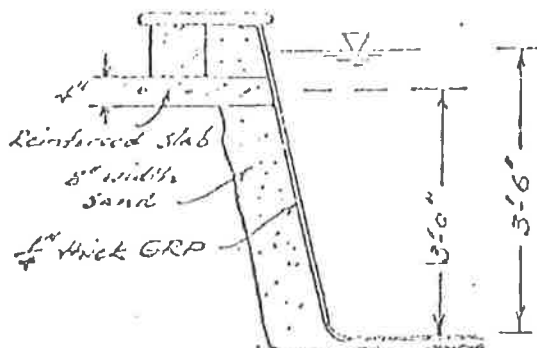
In the following report in respect of the above, the physical properties relative to polyester resin reinforced with glass rovings were assumed as follows:-

Tensile strength 80 - 120,000 p.s.i.
Compressive strength - 60 - 70,000 p.s.i.
Bending strength 120 - 150,000 p.s.i.
Modulus of elasticity- 4×10^6 p.s.i.

Reference - The New Glassfibre Book
- R.H. Warring (1971)

As the above strength values are ultimate figures, a safety factor of 4 has been used to allow for the variables that will occur in construction. Even with this factor, sound production technique and tight material specifications would be necessary.

The wall detail of the pool has been assumed to be standard in all cases and as described below.



From the attached calculations and assuming no support from the sand backfilling, it can be seen that the bending stress is well within the assumed allowable working stress. However, as could be expected from the relatively low value for the Elastic Modulus, the deflection is very high.

In the test pool constructed in Pakowhai Road, Hastings, straight edge tests before and after filling with water showed no significant wall deflections. This was in the absence of the slab at ground level. It is concluded that the initial slight yielding of the wall would develop passive resistance of the sand filling and so provide stability for the wall section.

It is therefore considered that it is essential to provide the sand backfilling at the same time as the pool is filled and that both levels are brought up together. The soundness of the pool under normal

conditions depends on this construction technique, and provided it is followed and the material specifications are adhered to, then we are of the opinion that this type of pool is acceptable.

The question of a high ground water level occurring must also be considered.

The attached calculation shows that for saturated sand conditions the wall is held against the slab at ground level and by inspection the bending moments are not high.

Providing the pool is kept full the wall should be capable of resisting side pressure from a high water table level.

The above comments refer only to the details indicated and clearly special consideration would be necessary in the following cases:-

1. Where there was any possible surcharge likely to occur adjacent to the wall. This would include structures, traffic and sloping or high ground level.
2. Where the ground supporting the pool wall has itself need for support or retention.

J.P. L.K. Simons
PAYEE, PHILLIPS, CHAPLIN & PARTNERS,
REGISTERED ARCHITECTS AND CONSULTING ENGINEERS,
DOMINION BUILDINGS,
QUEEN STREET EAST,
HASTINGS.

Inspector: M

File No. IN COMPUTER

Receipt No. _____

28 SEP 1989

Date Permit Issued 28 / 9 / 89

OWNER

Name C.C. ASHTON

Mailing Address P.O. BOX 5369
HAMILTON

BUILDER

Name OWNER

Mailing Address _____

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name TAUWHARE ROAD

Town/District _____

Riding TAUWHARE

LEGAL DESCRIPTION

Valuation Roll No. 4441/465

Lot 8 D.P.S. 16063

Section _____ Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

GARAGE

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	<u>78</u>	Number Erected	_____

NATURE OF PERMIT (TICK BOX)

NEW BUILDING
- exclude domestic garages and domestic outbuildings

FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions

DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

ESTIMATED VALUES			
Building	<u>12,000.</u>		<u>00</u>
Plumbing	_____		_____
Drainage	_____		_____
G.S.T.	_____		_____
TOTAL	<u>12,000.</u>		<u>00</u>

FEES APPLICABLE

Building Permit	\$ <u>95.00</u>	Water Connection	\$ _____
Street Damage Deposit	\$ _____		\$ _____
Building Research Levy	\$ _____		\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____		\$ _____
Vehicle Crossing Levy	\$ _____	G.S.T.	\$ _____
M.S. Plumbing	\$ _____	TOTAL:	\$ <u>95.00</u>

Receipt No. 10922

Date of Payment 27 / 9 / 89

Authorised Officer _____

Special Conditions: _____

FILE

Date Inspected

REMARKS (e.g. stage reached with work)

20-10-89

Foundations reinforced with 2 D12 bars - RG/600

Date Inspected

15/5/90

unsure of any further inspections from last date - job now completed.
no rebates placed in garage floor for door to close into.

COMPLETED (Signature)

Date

15/5/90

FINAL CODE COMPLIANCE CERTIFICATE

Section 43(3) Building Act 1991
ISSUED BY THE WAIKATO DISTRICT COUNCIL
BUILDING CONSENT NUMBER: 95913

FILE

APPLICANT:	PROJECT
Keith McKenzie Family Trust C/- Gv & Br Membery Ltd R D 4 HAMILTON 2021	Kitchen Dwelling Additions Intended use(s) in detail: DWELLING / KITCHEN
CONTACT:	
PROJECT LOCATION:	
553 Tauwhare Road TAUWHARE	Indefinite but not less than 50 years
LEGAL DESCRIPTION:	
Property Number: 1007703 Valuation Roll Number: 04441/465.00 Legal Description: LOT 1 DP 320761	

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of Council:

Signature:

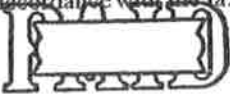
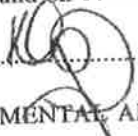


Name: Merv Balloch
 Position: **Building Control Officer**
 Date: 30 March 2006

BUILDING CONSENT NO. ABA 95913

Section 35, Building Act 1991

ISSUED BY: WAIKATO DISTRICT COUNCIL

APPLICANT	PROJECT
Name: KEITH MCKENZIE FAMILY TRUST PAMELA MCKENZIE FAMILY TRUST Mailing Address: C/- GV & BR MEMBERY LTD, R D 4, HAMILTON 2021	All <input type="checkbox"/> Stage No of an intended stages
PROJECT LOCATION	
Street Address: 553 TAUWHARE ROAD, TAUWHARE	New or Relocated Building <input type="checkbox"/> Alteration/Addition <input checked="" type="checkbox"/> Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 1007703 Valuation Roll No: 04441 46500 Legal Description: LOT 8 DPS 16063 BLK IV HAMILTON SD	Intended Use(s) in detail: DWELLING ADDITIONS Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years <input type="checkbox"/> Estimated Value: \$ 11500
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$  ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council: Name:  ENVIRONMENTAL ADMINISTRATION Date: 25/09/2002

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act not permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached 2 pages headed "Conditions of Building Consent No ABA 95913"

-
- 1) Can you please ensure that 24 hours notice is given prior to requiring the following inspections:
 - a) Foundation (prior to pouring concrete)
 - b) Bond Beam (prior to pouring concrete)
 - c) Floor (prior to pouring concrete)
 - d) Prelining
 - e) Insulation
 - f) Final inspection to be called for
 - g) Owner/builder to locate boundary pegs prior to Council carrying out a foundation inspection.
(The owner or builder shall be on site at the time of inspection)
 - 2) Trusses or rafters shall be fixed at tails to top plate with wire dogs at each end.
 - 3) Roof shall be braced to comply with Table 10.1 NZS 3604, 1999.
 - 4) The moisture barrier beneath the floor shall comply with the New Zealand Building Code 1991.
 - 5) Provide breather type building paper on outside of frame, to extend to top plate level.
 - 6) Habitable rooms shall have at least 5% of room area in opening sashes and 10% in glazing.
 - 7) Fibreglass insulation shall be a minimum of 75mm in walls and 100mm in ceilings or shall comply with the requirements of E3 AS1 of the New Zealand Building Code 1991.
 - 8) Footings shall be a minimum of 200mm below cleared ground level.
 - 9) Soils may be soft in this area.
Foundations shall sit on soils capable of supporting 100kpa. If soft soils are encountered an engineer's design of the foundations will be required.
 - 10) All drainage and plumbing shall comply with the New Zealand Building Code 1991.
 - 11) At least 24 hours notice shall be required for plumbing and drainage inspections.
 - 12) Plumbing pretline inspection shall be required
 - 13) an as built drainage plan and an electrical certificate of compliance is required on completion.
 - 14) Stormwater shall be disposed of in an approved manner.
 - 15) Wall framing to comply with table 8.14, 8.18, 8.2, 10.9, 10.10 or 10.13 Figure 8.12 NZS 3604:1999.
 - 16) Lapse and cancellation of building consent.

WAIKATO DISTRICT COUNCIL
Conditions in respect of the Building Act 1991
Section 34(4), Building Act 1991

Conditions of Building ConsentNo: ABA 95913

Page: 2

This building consent shall lapse and be of no effect if:
a) The building work concerned has not been commenced within 6
calendar months after the date of issue of the consent; or
b) Reasonable progress on the building work has not been made
within 12 calendar months after work has commenced.
The Council can exercise its discretion in either case.

Date: 25/ 9/02

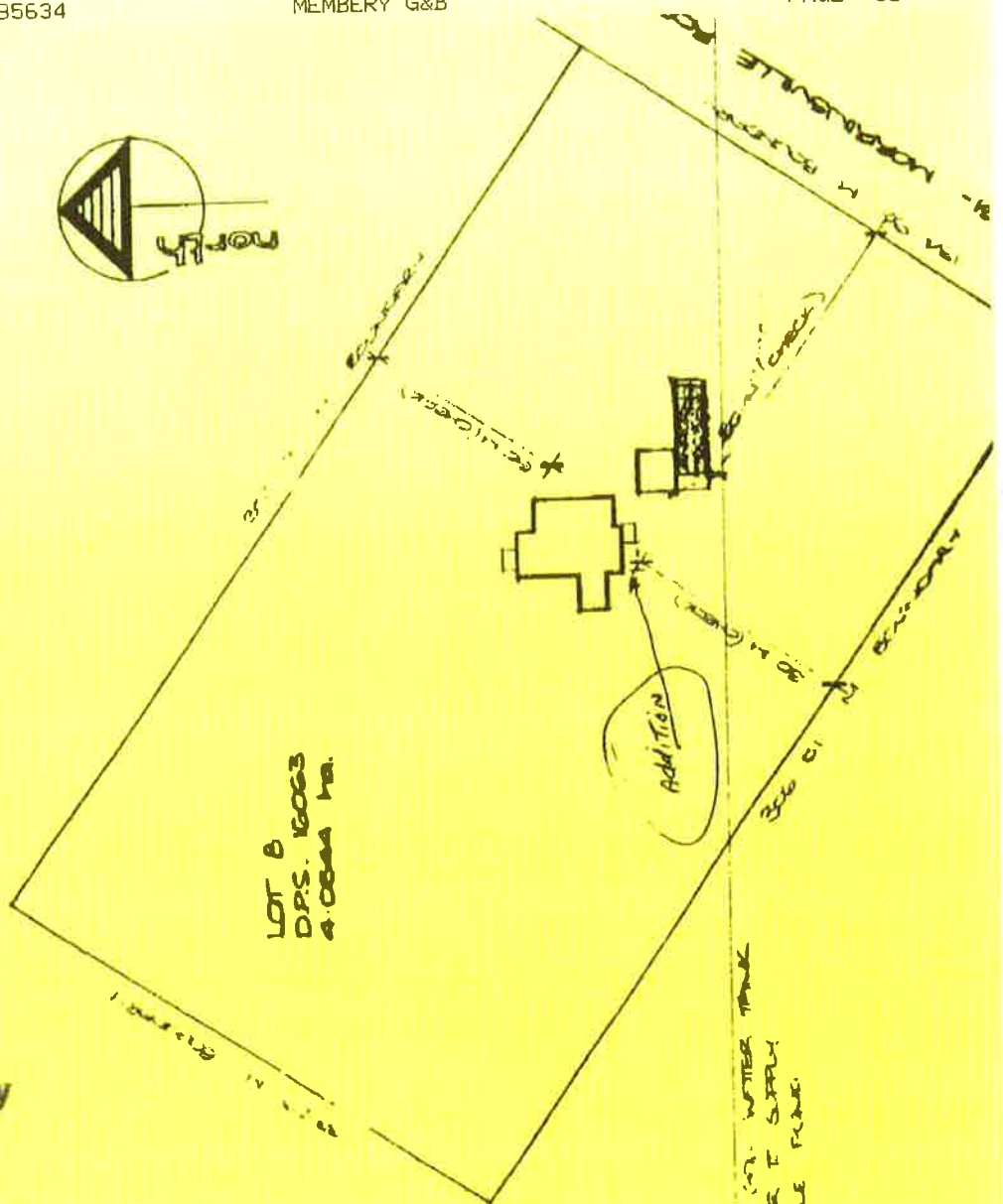
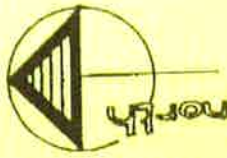
Signed:



WAIKATO DISTRICT COUNCIL

G. V. & B. R. MEMBERY LTD.
 HOEKA ROAD
 R.D. 4
 HAMILTON
 PH. 829-5624
 MOBILE: 021-938-192

McKenzie Job



LOT 6
 D.P.S. 16063
 2.0000 ha.

Addition

Date Received By

20 AUG 2002

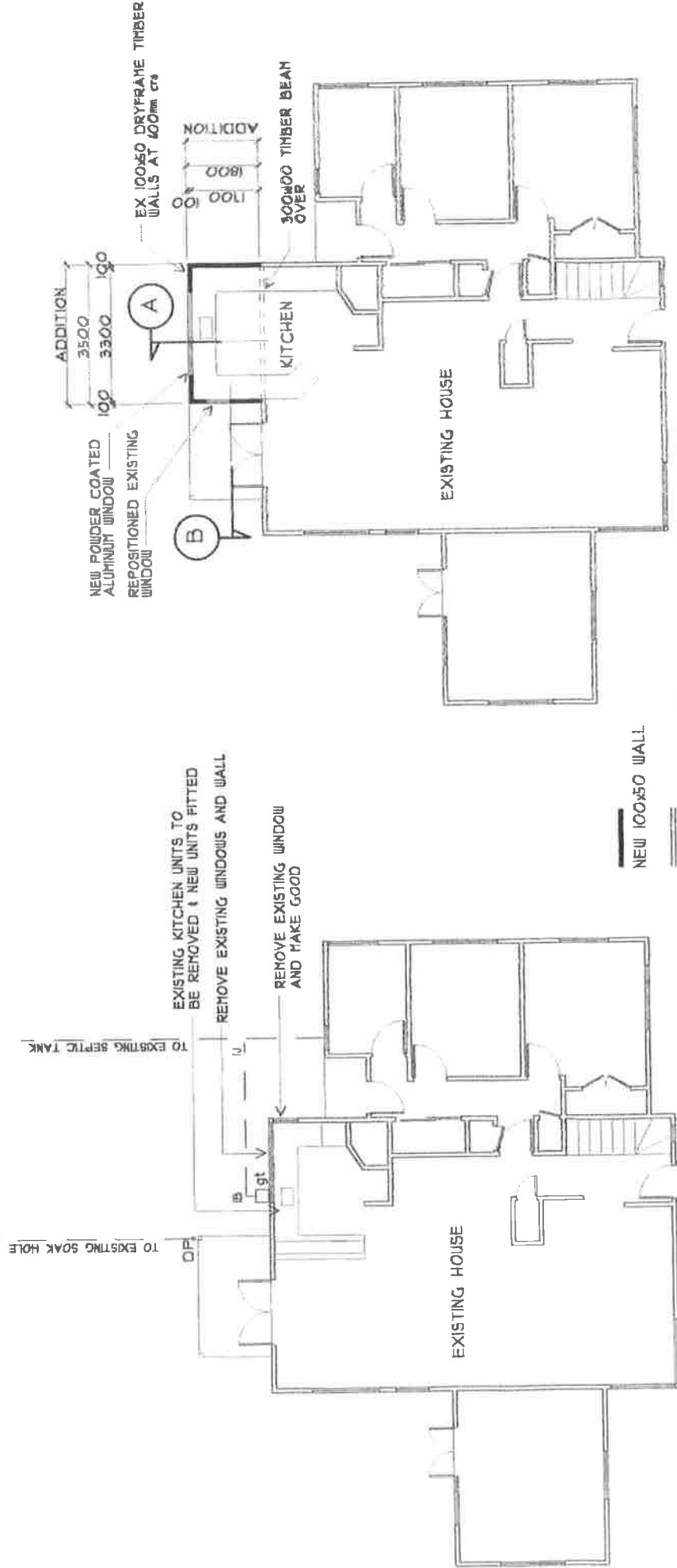
Community Services

NOTES

1. The site is a...
 2. The site is a...
 3. The site is a...

5000 M² WATER TANK
 - CHANGE IF SUPPLY
 SUFFICIENT FLOW.

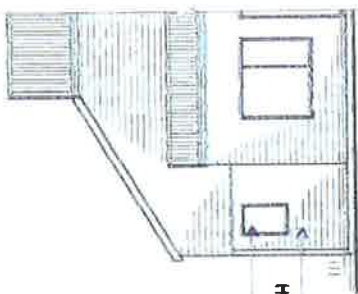
GRANDE



ALL SURFACES IN WET AREAS TO BE PROTECTED WITH IMPERVIOUS MEMBRANE

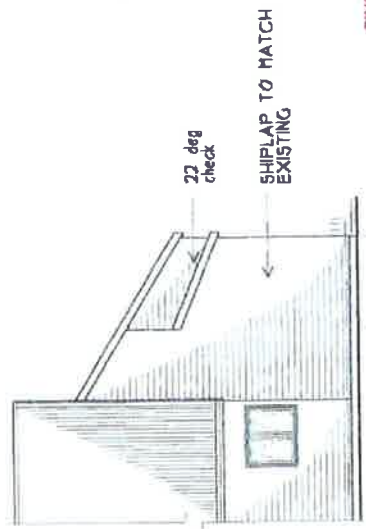
FINAL INSPECTION TO BE CARRIED OUT BY COUNCIL PRIOR TO OCCUPANCY

CHECK ALL LEVELS & DIMENSIONS ON SITE BEFORE STARTING THE WORKS	
Professional CAD Systems Architectural CAD Software Hamilton Ph. 847 2259	AI
PROPOSED ADDITION for MR & MRS K Mc KENZIE at MATANGI	1:100
EXISTING FLOOR PLAN PROPOSED FLOOR PLAN	1:100



ELEVATION 3
1:100

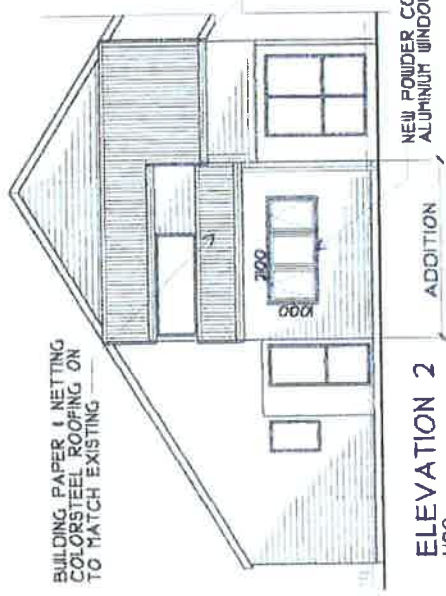
RE-POSITIONED
EXISTING WINDOW
SHIPLAP TO MATCH
EXISTING



ELEVATION 1 ADDITION
1:100

22 deg
check
SHIPLAP TO MATCH
EXISTING

FINISHED FLOOR LEVEL TO ADJACENT
GROUND LEVEL - BRICK - 100MM PAVED
150MM UNPAVED; OTHER CLADDING
150MM PAVED 225MM UNPAVED



ELEVATION 2
1:100

BUILDING PAPER & NETTING
COLORSTEEL ROOFING ON
TO MATCH EXISTING

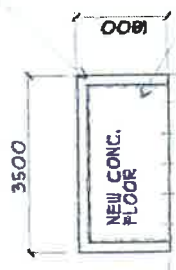
NEW POWDER COATED
ALUMINIUM WINDOW

ADDITION

200mm CONC. BLOCK WITH 1 D13 ROD
ON 250x200mm CONT. CONC.
& D10 STARTER STIRRUPS
FOOTING WITH 3 D12 RODS
AT 400mm CRS

100mm CONCRETE FLOOR
SLAB WITH H.R.C. WIRE MESH
ON DAMP PROOF COURSE
ON WELL COMPACTED
HARDFILL

D12 RODS AT 400mm CRS
& 400mm LONG, 100mm LONG
INTO EXISTING SLAB
EXP. CONCRETE ADHERE



EXISTING CONC. FLOOR
FOUNDATION PLAN
1:100

15 MAY 2007

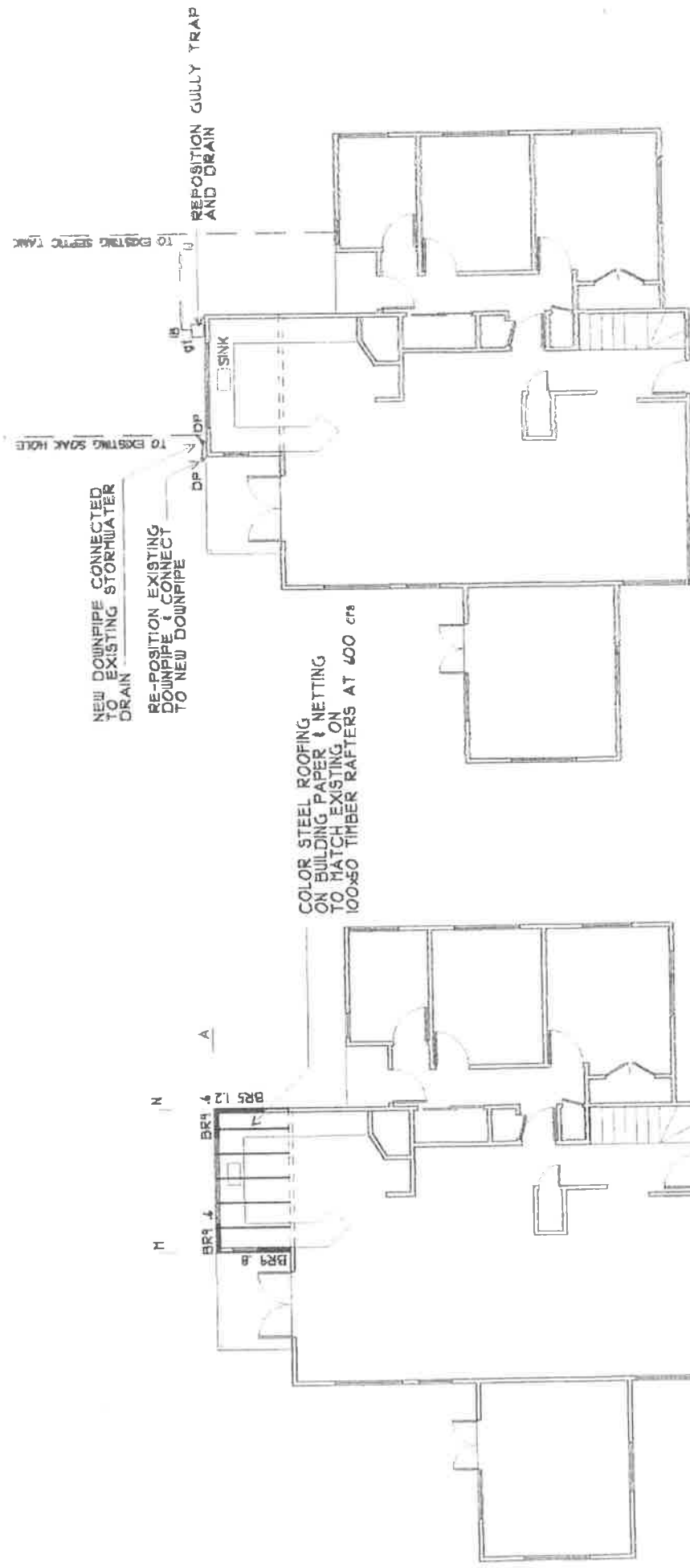
CHECK ALL LEVELS & DIMENSIONS ON SITE BEFORE STARTING THE WORKS

Professional CAD Systems
Architectural CAD Software
H.B.MILLION P.H. 847 2288

A2

PROPOSED ADDITION for MR & MRS K Mc KENZIE at MATANGI

ELEVATIONS
FOUNDATION PLAN



ROOF FRAMING PLAN
1:100

DRAINAGE PLAN
1:100

FINAL INSPECTION TO BE
CARRIED OUT BY COUNCIL
PRIOR TO OCCUPANCY

CHECK ALL LEVELS & DIMENSIONS ON SITE BEFORE STARTING THE WORKS

Professional CAD Systems
Architectural CAD Software
Hamilton Ph. 847 2288

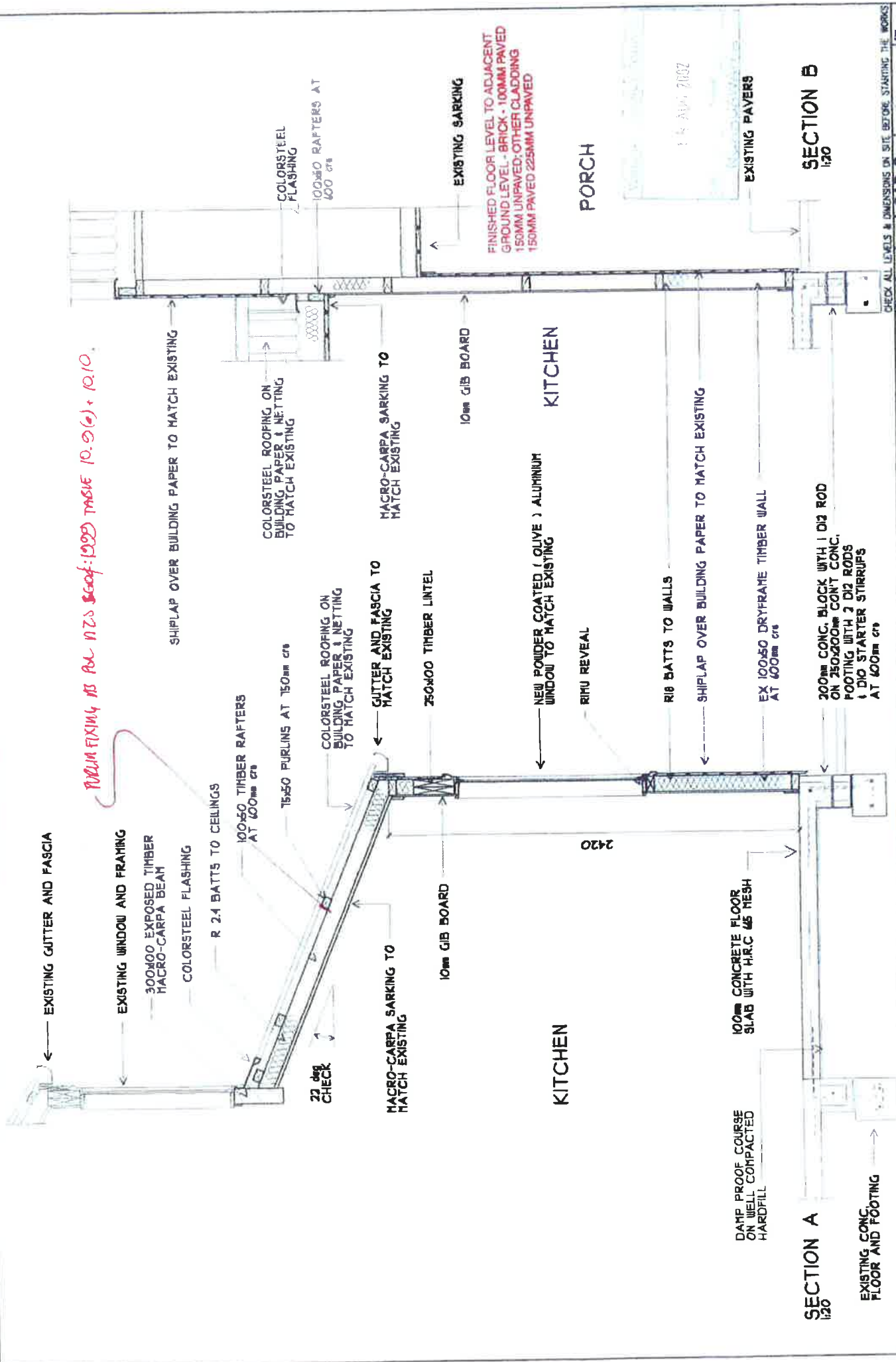
BRACING PLAN
ROOF FRAMING PLAN
DRAINAGE PLAN

PROPOSED ADDITION for MR & MRS K Mc KENZIE at MATANGI

A3

HPC 1:100

ROOF FIXING AS PER NZS SPEC: 1999 TABLE 10.5(a) + 10.10.



EXISTING GUTTER AND FASCIA

EXISTING WINDOW AND FRAMING

300x100 EXPOSED TIMBER
MACRO-CARPA BEAM

COLORSTEEL FLASHING

R 24 BATTS TO CEILINGS

100x50 TIMBER RAFTERS
AT 400mm c/c

15x50 PURLINS AT 750mm c/c

COLORSTEEL ROOFING ON
BUILDING PAPER & NETTING
TO MATCH EXISTING

GUTTER AND FASCIA TO
MATCH EXISTING

250x100 TIMBER LINTEL

NEW POWDER COATED (OLIVE) ALUMINIUM
WINDOW TO MATCH EXISTING

RIMU REVEAL

RIB BATTS TO WALLS

SHIPLAP OVER BUILDING PAPER TO MATCH EXISTING

EX 100x50 DRYFRAME TIMBER WALL
AT 400mm c/c

200mm CONC. BLOCK WITH 1 D12 ROD
ON 250x200mm CONT CONC.
FOOTING WITH 2 D12 RODS
& D10 STARTER STIRRUPS
AT 400mm c/c

MACRO-CARPA SARKING TO
MATCH EXISTING

10mm GIB BOARD

27 deg
CHECK

MACRO-CARPA SARKING TO
MATCH EXISTING

10mm GIB BOARD

SHIPLAP OVER BUILDING PAPER TO MATCH EXISTING

250x100 TIMBER LINTEL

NEW POWDER COATED (OLIVE) ALUMINIUM
WINDOW TO MATCH EXISTING

RIMU REVEAL

RIB BATTS TO WALLS

SHIPLAP OVER BUILDING PAPER TO MATCH EXISTING

EX 100x50 DRYFRAME TIMBER WALL
AT 400mm c/c

200mm CONC. BLOCK WITH 1 D12 ROD
ON 250x200mm CONT CONC.
FOOTING WITH 2 D12 RODS
& D10 STARTER STIRRUPS
AT 400mm c/c

EXISTING GUTTER AND FASCIA

EXISTING WINDOW AND FRAMING

300x100 EXPOSED TIMBER
MACRO-CARPA BEAM

COLORSTEEL FLASHING

R 24 BATTS TO CEILINGS

100x50 TIMBER RAFTERS
AT 400mm c/c

15x50 PURLINS AT 750mm c/c

COLORSTEEL ROOFING ON
BUILDING PAPER & NETTING
TO MATCH EXISTING

GUTTER AND FASCIA TO
MATCH EXISTING

250x100 TIMBER LINTEL

NEW POWDER COATED (OLIVE) ALUMINIUM
WINDOW TO MATCH EXISTING

RIMU REVEAL

RIB BATTS TO WALLS

SHIPLAP OVER BUILDING PAPER TO MATCH EXISTING

EX 100x50 DRYFRAME TIMBER WALL
AT 400mm c/c

200mm CONC. BLOCK WITH 1 D12 ROD
ON 250x200mm CONT CONC.
FOOTING WITH 2 D12 RODS
& D10 STARTER STIRRUPS
AT 400mm c/c

100mm CONCRETE FLOOR
SLAB WITH H.R.C. MESH

DAMP PROOF COURSE
ON WELL COMPACTED
HARDFILL

EXISTING CONC
FLOOR AND FOOTING

100mm CONCRETE FLOOR
SLAB WITH H.R.C. MESH

DAMP PROOF COURSE
ON WELL COMPACTED
HARDFILL

EXISTING CONC
FLOOR AND FOOTING

100mm CONCRETE FLOOR
SLAB WITH H.R.C. MESH

DAMP PROOF COURSE
ON WELL COMPACTED
HARDFILL

EXISTING CONC
FLOOR AND FOOTING

100mm CONCRETE FLOOR
SLAB WITH H.R.C. MESH

DAMP PROOF COURSE
ON WELL COMPACTED
HARDFILL

EXISTING CONC
FLOOR AND FOOTING

100mm CONCRETE FLOOR
SLAB WITH H.R.C. MESH

DAMP PROOF COURSE
ON WELL COMPACTED
HARDFILL

EXISTING CONC
FLOOR AND FOOTING

SECTION A
1:20

SECTION B
1:20

SECTIONS

PROPOSED ADDITION for MR & MRS K Mc KENZIE at MATANGI

CHECK ALL LEVELS & DIMENSIONS ON SITE, BEFORE STARTING THE WORKS

Professional CAD Systems
Architectural CAD Software
HAMILTON P.O. BOX 2258

1:20

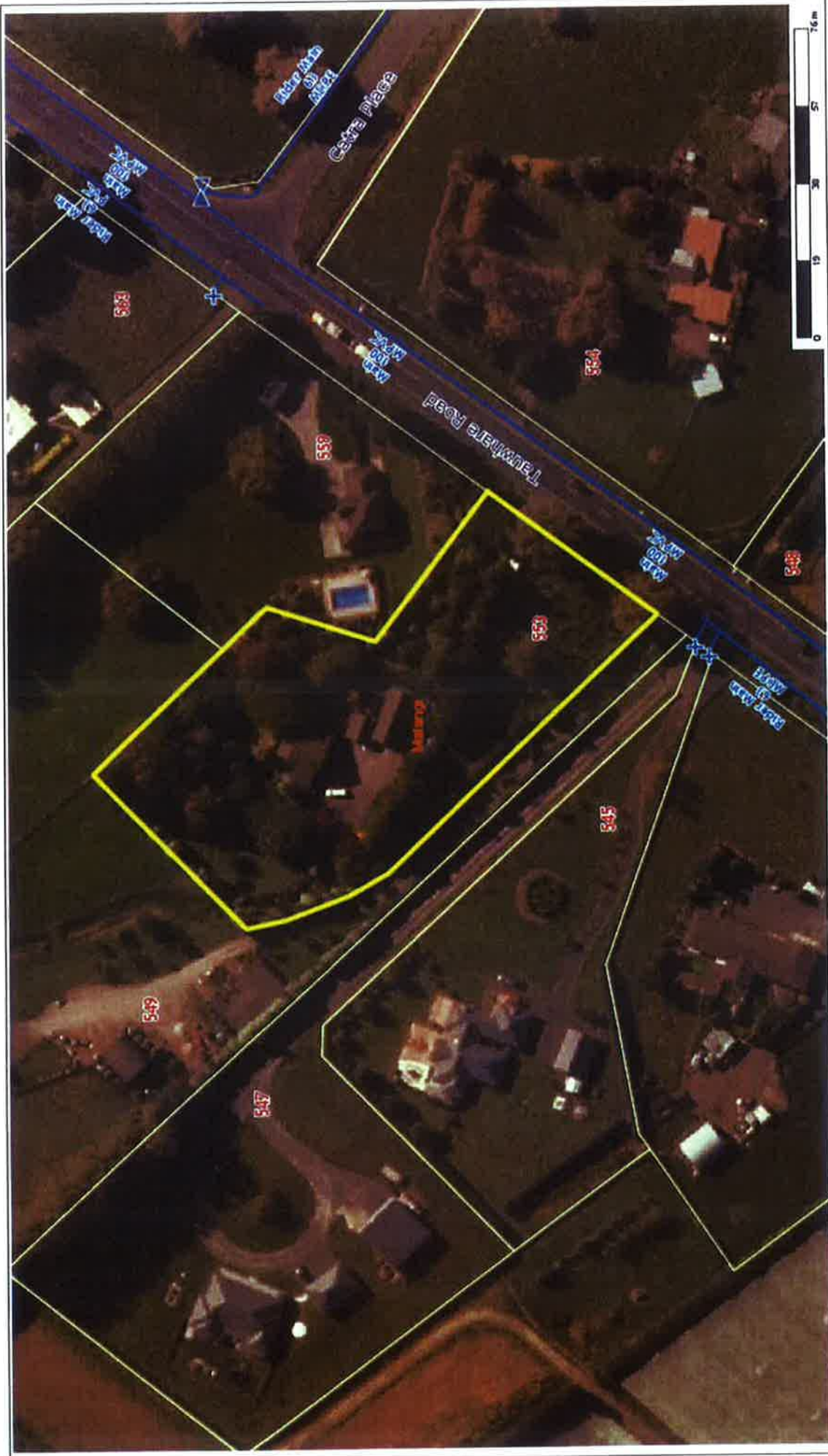
A4

15 AUG 2007



Utilities Plan

553 Tauwhare Road TAUWHARE
LOT 1 DP 302761



Water Supply

Water Supply

- WS Pumpstation
- WS Valves
- AIR
- BUTTERFLY
- CHECKNON RETURN
- CLAYTON+PR
- FLUSHING Scour
- GATE or PEET
- SLUCE
- Other Valve
- WS Point
- Chamber
- Connection
- Dummy Node
- Meter
- Sampling Point
- Toby
- Water Treatment
- Fittings
- Flush Point
- Hydrant
- WS Line
- Mains 100
- Mains 200
- Mains 300
- Suction Duct Scour
- Aerial Main
- Service
- WS Plant

Storm Water

Storm Water

- Waste Water
- WW Point
- Flow Meter
- Flush Point
- Chamber
- Manhole
- WWTP Pond
- TP WW Pump Station
- Fittings
- WW Treatment Plant
- WW Valves
- Air Valve
- Check & Non Return Valve
- FLUSHING Scour
- Gate & Bypass Valve
- Sluice Valve
- Valve
- Valve - Butterfly
- Valve Chamber
- WW Pumpstation
- WW Line
- Gravity 100
- Gravity 200
- Gravity 300
- Rising Main 100
- Rising Main 200
- Rising Main 300
- Service
- Aerial main
- Other
- WW Plant

UTILITIES

Storm Water

- Storm Water
- SWPoint
- Catchpit
- Inlet
- Manhole
- Valve
- Other
- SW Plant
- SW Pumpstation
- SW Line
- Catchpit Lead
- Gravity Main upto 200
- Gravity Main upto 300
- Gravity Main > 300
- Service
- Other
- Rising Main
- Drainage Districts

Introduction to the PLANNING MAPS

These planning maps are part of the Waikato District Plan. The maps are referred to in the text volumes.

Map layout

The maps are arranged to show zones and policy or other special controls. Important to note is the delineation between the Waikato Section and the Franklin Section as shown on Maps 1 and Map 11. This delineation is necessary due to the differences between the two sections and dependencies in the policy and zoning areas. Various colours, shading and symbols are used on the maps to represent these zones, policy areas and special controls. The maps also include information such as the alignment of the major electricity and gas transmission corridors and designations. See the map legend for details.

Zones

Except for roads in the Franklin Section all land in the Waikato District is in a zone. Land uses within each zone are expected to generate a compatible range of effects and provide a similar level of amenity.

Roads in the Waikato Section appear white in the maps as the zone shading has been left off to assist map users with orientation. Although the roads are not shaded, they are in a zone, which is this zone of the land to the left or right of the road. Where the zone is different to the zone of the land to the other side of the road, the centre line of the road. Unformed roads are shown with zone shading.

Roads in the Franklin Section are not in a zone and appear white in the maps. This applies to both formed and unformed roads. For activities affecting roads, in the Franklin Section refer to Part 15 or seek advice from the appropriate department within Council.

With the exception of the Waikato River and some of its tributaries within the Franklin Section, lakes and rivers appear with blue shading to assist map users with orientation. Although these rivers and lakes are not given any zone shading, they are in a zone, which is the zone of the land nearest to each point of the river or lake. Where the zone is different on each side of the river or lake, the boundary between the zones is the centre of the river or lake.

Activities on the surface of rivers, lakes and other water bodies are subject to the ordinary zone rules, for example the noise rules. A person wanting to build a structure in the water, such as jetties, would also have to observe the zone building standards (regional council consents may also be required).

Policy and Special Control Areas

These areas are mapped areas of the district where certain resource management issues are addressed in the plan, such as heritage, conservation areas, landscapes and ecological features. Some land in the district is not in any of these areas, while others may be affected by a number of these controls. If a site is in any of these areas various rules will apply to that particular activity. For example, the earthworks standards are stricter in a Landscape Policy Area.

Information items

Some of the information on the maps are included for information and to assist landowners with their activities and may not be referred to in the text of the plan. These items include the Te Awara National Walkway, the landfill site and the motorway park at Hampson Downs marae, urupa and various retirement homes. Identification of these sites on the planning maps does not change the legal or planning status of activities on the land.

Numbered sites

Some sites are shown on the maps with a number and symbol. These sites contain a Heritage Item, Maori Site of Significance, Notable Tree, Outstanding Natural Feature or Designation. The rules that refer to these items are included in the rules for the zone that the site is in or the relevant chapter.

The numbers refer to the text in the plan Appendices C and F and Chapter 30 of the Waikato District Plan, Part 5, Part 8, Appendix Two and the Schedule of Designations of the Franklin Section. Refer to these sections to confirm the identity of the site and to find further information.

For designations in the Waikato Section, the letter before the number identifies the requiring authority that is responsible for the designation. For example, the letter J identifies all designations of New Zealand Transport Agency. See chapter 30 for more details.

For designations in the Franklin Section, numbers run in numerical order and do not identify the requiring authority that is responsible for the designation. See Schedule of Designations for more details.

Where land is designated, the legal rights and responsibilities of the requiring authority (the New Zealand Transport Agency) and the landowner are set out in the Resource Management Act.

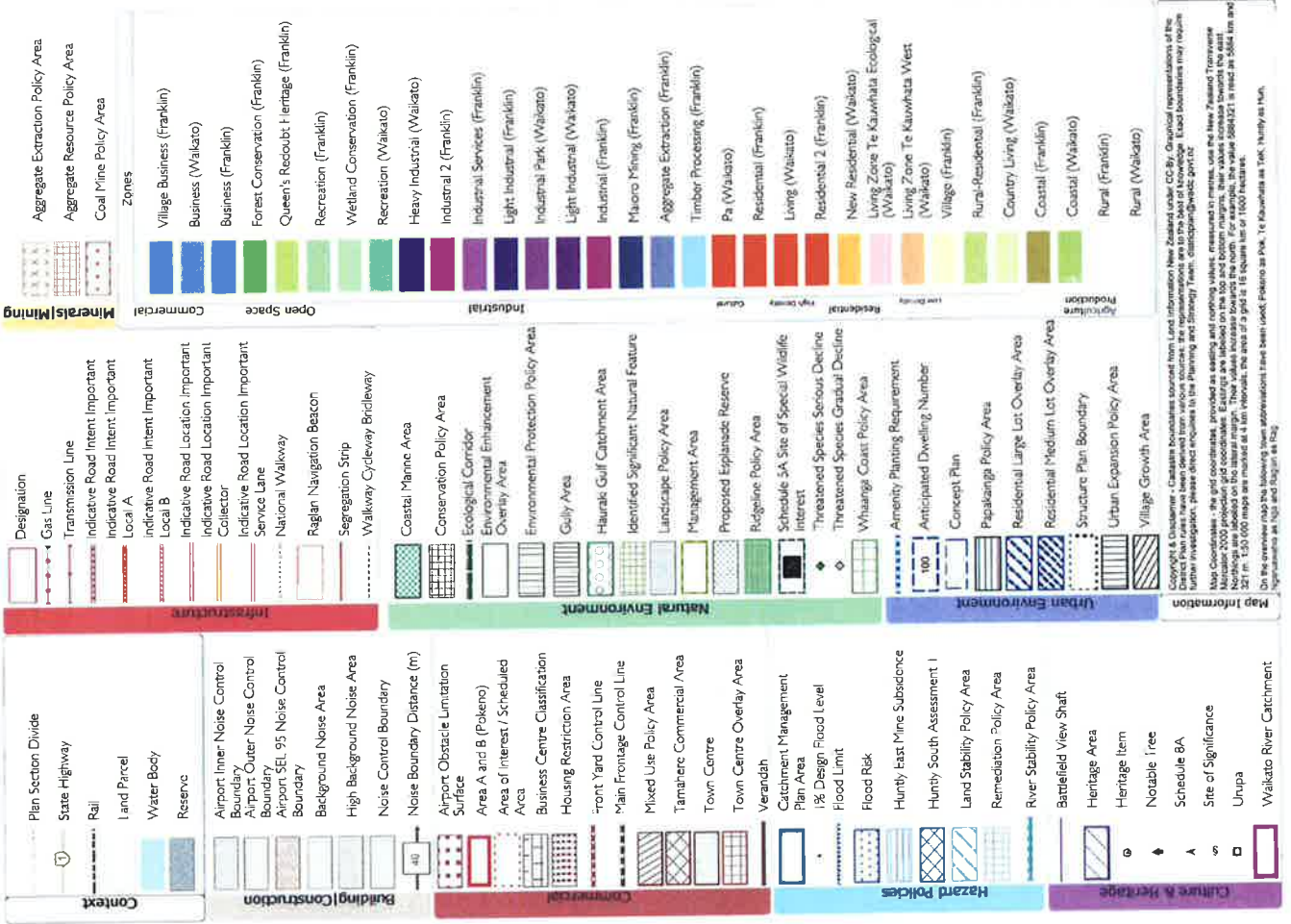
Hazards

Hazard areas shown on the planning maps are not exhaustive. Extensive areas of the district are subject to some flood, erosion, contaminated land or subsidence hazards, but not all these areas are shown on the planning maps. The Council does not have specific knowledge of all sites within the district. Applicants for resource consent will be required to identify relevant hazards in their locality.

Selected areas in the Living Zone of Huntly have been mapped as flood risk areas because of the particular flood risk in these areas and the availability of a Regional Council Assessment Plan. Areas with a flood risk are shown on the maps at a scale of either 1:5,000 or 1:10,000; this means that the detail for each property cannot be inferred from the maps. The maps are intended only to indicate general areas within which special enquiry about flood risks needs to be made. Within the mapped flood risk areas, there will be land that is not affected by the hazard. These areas can only be identified by a site-specific survey.

Legend

Waikato District Plan



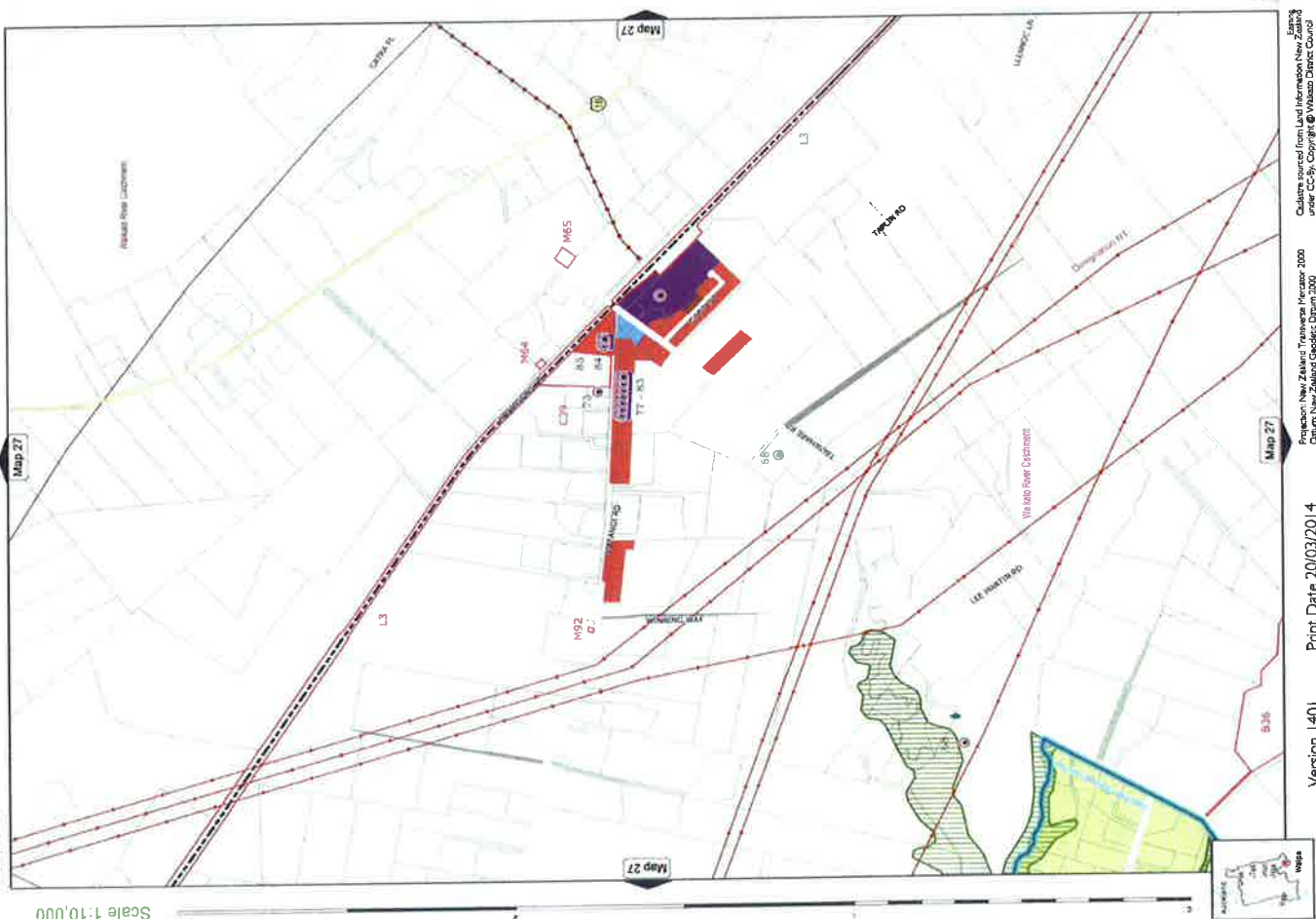
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Matangi 27.4



Scale 1:10,000



Projection: New Zealand Transverse Mercator 2000
Datum: New Zealand Geoidic Datum 2000
Elevations: Contours from Land Information New Zealand
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